

SECTION 27 – VILLAGE DISTRICTS

Subsections:

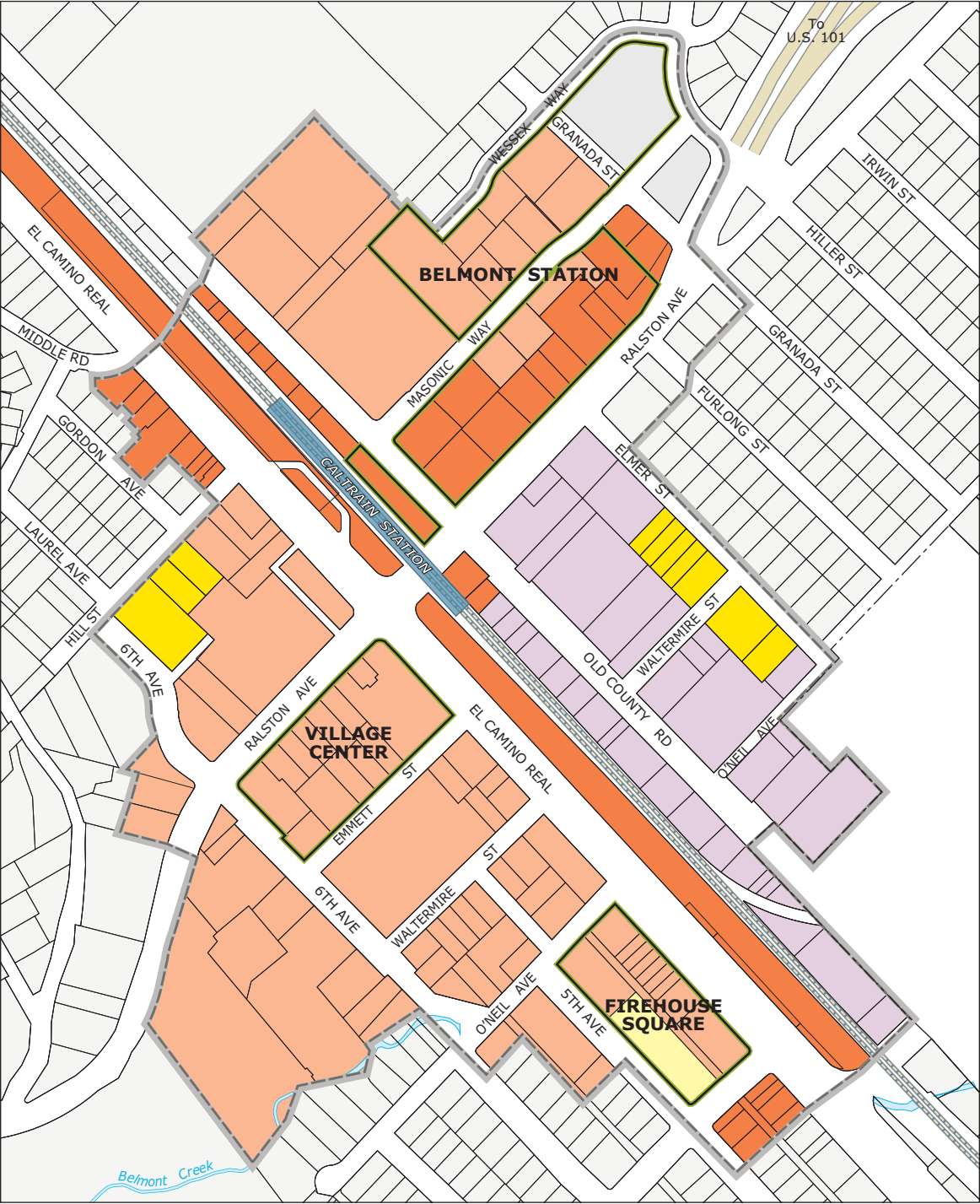
- 27.1 Purpose
- 27.2 Definitions
- 27.3 Land Use Regulations
- 27.4 Standards for Specific Uses and Activities
- 27.5 Development Standards
- 27.6 Supplemental Regulations
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- 27.8 Project Review Process

27.1 Purpose

1. **General Purpose of Village Districts.** The Village districts are intended to promote the development and redevelopment of the Village area. The regulations of this section are intended to support future growth and vitality while ensuring that the Village maintains and strengthens its unique character and sense of place.
2. **Objectives.** The specific objectives of the Village districts are to:
 - a. Support a thriving, vibrant central business district with a unique sense of place.
 - b. Allow mixed uses to create a more vibrant community and offer additional opportunities for housing for residents requiring convenient access to community services and transit, and less dependency on auto transportation.
 - c. Ensure that development is visually attractive and features high quality design.
 - d. Preserve and enhance the pedestrian-oriented environment of the Village area.
 - e. Ensure that potential development and redevelopment is compatible with surrounding land uses and supports the vitality of the area.
3. **Role of the Downtown Specific Plan.** The standards within the Village Districts supersede the standards and requirements within the Downtown Specific Plan. The Downtown Specific Plan has no regulatory authority.
4. **Location.** The Village area is established within the area generally bounded by the City limits, Elmer Street, Harbor Boulevard to Broadway, Sixth Avenue to Twin Pines Park, and Hill Street, Middle Road to the Belmont Iceland Recreational Skating Rink. Figure 27.1-1 illustrates the parcels included within the Village area.

Villages of Belmont Zoning Districts

- V-2 Pedestrian Core
- V-3 Corridors
- V-4 Service Commercial
- V-R Residential Mixed Use
- R-2 Duplex Residential
- Economic Development Target Sites Boundaries
- Planning Area Boundary



5. **Specific Purpose of Each Village District.**

- a. **V-1 Reserved.** This district is reserved for future use.
- b. **V-2 Pedestrian Core.** The regulations for the V-2 District are intended to support the development and redevelopment of an active pedestrian-oriented village center. Retail, restaurant, and commercial service uses are the predominant uses on the ground floor. Public plazas and sidewalk areas with pedestrian amenities are provided. Office and residential uses are located on upper floors. The V-2 District also provides for hotel and entertainment uses.
- c. **V-3 Major Transportation Corridors.** The V-3 District recognizes El Camino Real, Ralston Avenue and Old County Road as major transportation corridors within the Village. The regulations in this district are intended to provide a range of community and regional commercial uses, including auto-oriented uses, while supporting alternative modes of travel. Office and residential uses are allowed, particularly above the ground floor. Sidewalk areas are designed to be pedestrian-oriented, with street trees, street furniture, and other amenities.
- d. **V-4 Service Commercial.** The V-4 District is intended to maintain and encourage a mix of retail, restaurant, office, commercial service, and public uses. Residential uses are allowed on upper floors with a conditional use permit.
- e. **V-R Residential Mixed Use.** The V-R District is intended to provide for residential mixed use development which supports active and vibrant Village areas by creating additional unique housing opportunities within the Village area. This district allows for a variety of housing types, such as small lot single family, live/work units, townhouses, condos, and apartments. In addition, certain retail and commercial service uses will be allowed on the ground floor.






6. **Goals for Village Development.** The following goals are established to guide the design and review of development projects, and are illustrated in Figure 27.1-2. One of the top priorities for the Villages of Belmont is to emphasize a connected network of pedestrian sidewalks and walkways, which are defined with high quality amenities and pedestrian-oriented uses.

- a. **Pedestrian Routes.** Improve primary pedestrian routes with wider sidewalks and pedestrian amenities such as seating, pedestrian-scale lighting, trash receptacles, planters, pots, and other street furniture.
- b. **Pedestrian Connectivity.** Add routes through blocks to facilitate shorter walking distances between destinations and points of interest.
- c. **Active Pedestrian Frontages.** Provide active ground floor uses, such as retail and restaurants, on block frontages designated as active pedestrian frontages.
- d. **Parks and Plazas.** Incorporate pocket parks and plazas that are fully accessible to the public.








Villages of Belmont

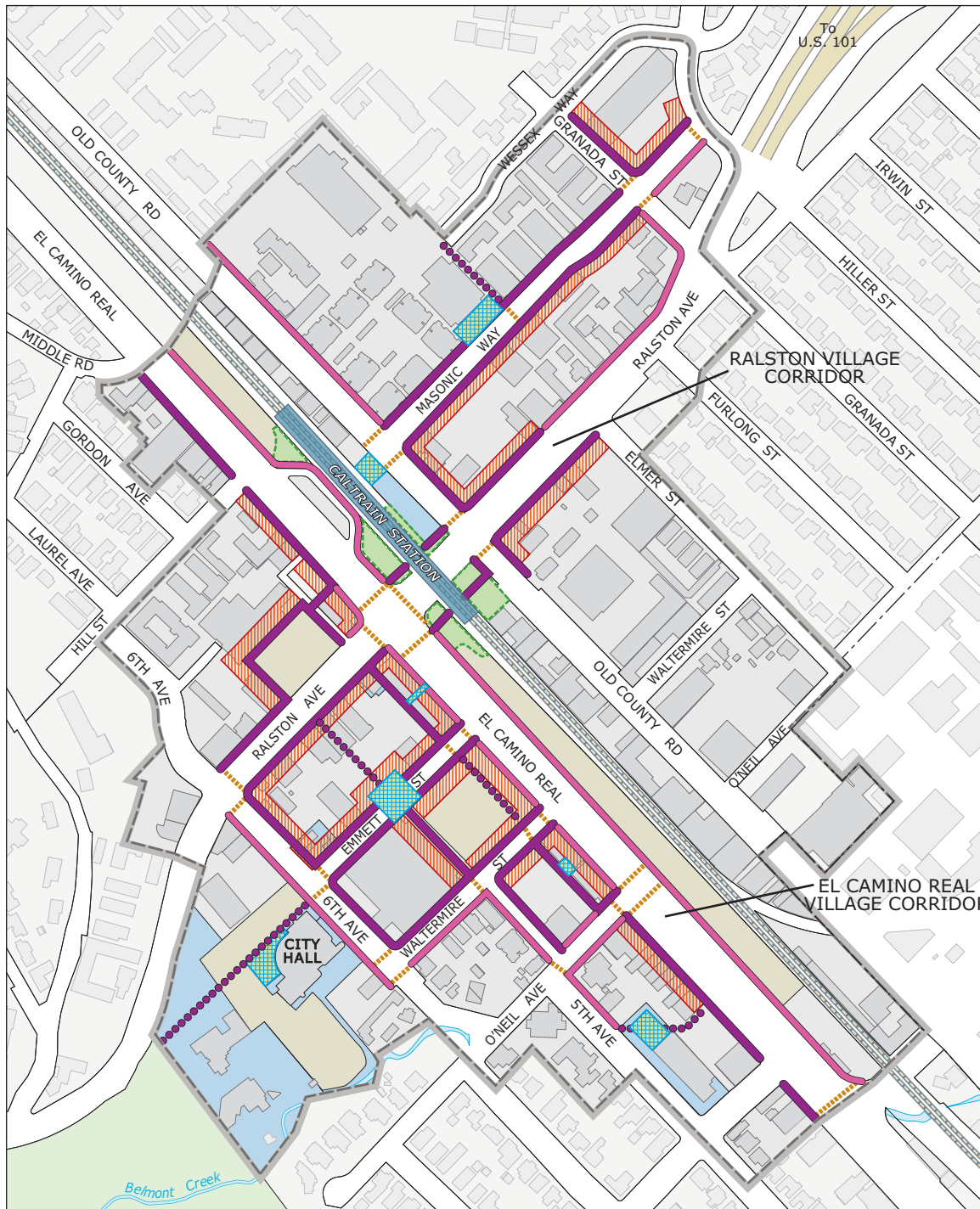
Goals for Village Connectivity

Pedestrian Routes (Village Connectivity)

-  Existing Primary
-  Proposed Primary
-  Existing Secondary
-  Pedestrian Street Crossing
-  Key Pedestrian Retail Frontage:
(Goal is to achieve continuous store fronts at sidewalk edge)

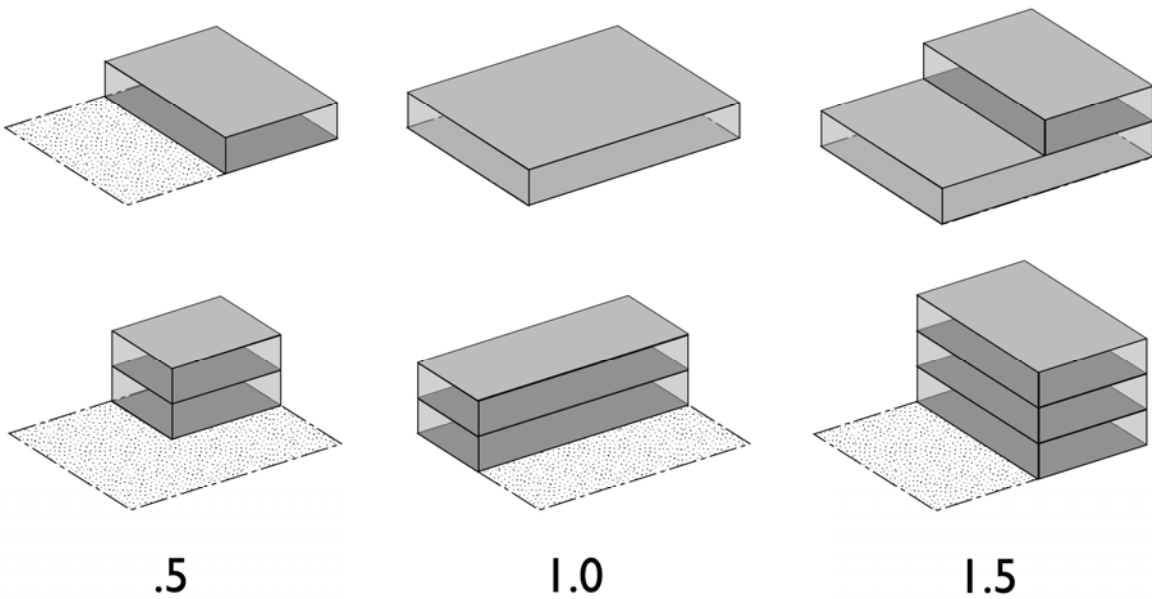
City Parks and Plazas

-  Existing Parks
-  Public Spaces -
Plazas and Courtyards
-  Gateway Landscaping
-  Large Parking Lots
-  Publicly-owned Parcels
-  Building Footprint
-  Planning Area Boundary



27.2 Definitions

1. **Gross Floor Area.** For the purposes of calculating floor area under this chapter, the gross floor area shall not include underground parking, partially underground parking with no more than three feet above sidewalk level, or parking structures that are interior to a retail or mixed use building.
2. **Floor Area Ratio (FAR).**
 - a. For the purposes of calculating floor area ratio under this chapter, FAR is equal to the gross floor area of all buildings on a lot divided by the gross area of such lot.
 - b. In mixed use buildings, the restrictions regarding maximum FAR govern, but residential density limits shall also apply.



3. **Streetwall.** Measurement of the street-facing wall determined from grade to top of wall, including parapet, but not including any pitched roof.
4. **Mixed Use.** Under this chapter, mixed use refers to vertical mixed use where retail or commercial uses are on the ground floor, and residential or office uses are above.

27.3 Land Use Regulations

Table 27.3-1 prescribes the land use regulations for the Village districts. The regulations for each district are established by letter designations listed below. These designations apply strictly to the permissibility of land uses; applications for buildings or structures may require discretionary review. Use classifications not listed in the table are prohibited. The “Additional Regulations” column notes additional regulations that apply to particular land uses. Use classifications are defined in Subsection 2 – Definitions and Land Use Classifications.

“P” designates uses permitted by right that require no discretionary review if in compliance with all standards.

“L” designates uses permitted by right subject to limitations restricting location, size or other characteristics to ensure compatibility with surrounding uses. Limitations are referenced by letter designations listed here:

L (1): Ground floor only.

L (2): Permitted on second and upper floors; CUP required for ground floor.

L (3): Permitted up to 3,000 square feet; larger size on the ground floor requires a CUP.

L (4): Permitted up to 5,000 square feet; larger size requires a CUP.

L (5): Permitted up to 20,000 square feet; larger size requires a CUP.

L (6): At least half of floor area must be devoted to sale of retail products.

L (7): Allowed when not replacing retail or personal service use on ground floor; otherwise a CUP is required.

L (8): Permitted if the project meets the standards of Subsection 27.4; otherwise requires a CUP.

L (9): Allowed if existing; no new permitted.

“C” designates uses that may be permitted following review and approval of a conditional use permit by the Planning Commission.

“X” designates uses that are not permitted.

Table 27.3-1: Use Regulations					
	<i>PEDESTRIAN CORE V-2</i>	<i>CORRIDORS V-3</i>	<i>SERVICE COMMERCIAL V-4</i>	<i>RESIDENTIAL MIXED-USE V-R</i>	<i>ADDITIONAL REGULATIONS</i>
RESIDENTIAL USE TYPES					
Single Unit Dwelling	L (9)	L (9)	L (9)	P	See Zoning Ordinance Section 13A
Second Unit	L (9)	L (9)	L (9)	P	See Zoning Ordinance Section 24
Two Unit Dwelling (Duplex)	L (9)	L (9)	L (9)	P	See Zoning Ordinance Section 13A
Single Unit Row Dwelling	L (9)	L (9)	L (9)	P	See Zoning Ordinance Section 13A
Multiple Unit Residential	L (2)	L (2)	C	P	
Day Care (in residential use)					
<i>Small Family</i>	P	P	X	P	
<i>Large Family</i>	P	P	X	P	
Group Housing	C	C	C	C	
Senior Citizen Housing	L (2)	L (2)	C	P	
Transitional Housing	L (2)	L (2)	C	P	
Accessory Uses to Residential	L (2)	L (2)	L (2)	P	Swimming pools and garages allowed on ground floor.
PUBLIC AND QUASI-PUBLIC USE TYPES					
Cemetery	X	X	X	X	
Club/Lodge	C	C	C	C	
Community Center	C	C	C	C	
Community Social Service Facility	C	C	C	X	
Cultural Institution	L (4)	L (4)	C	C	
Cyber Learning Center	L (2)	P	C	C	
Day Care Center	C	C	C	C	
Government Office	L (2)	L (4)	L (4)	L (1), L (4)	

Table 27.3-1: Use Regulations					
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Hospitals and Clinics					
<i>Hospital</i>	X	X	X	X	
<i>Clinic</i>	X	X	X	X	
<i>Drug/Alcohol Rehabilitation Center</i>	X	X	X	X	
<i>Psychiatric Care Home/Facility</i>	X	X	X	X	
<i>Sanatorium</i>	X	X	X	X	
Park and Recreation Facility	P	P	P	P	
Parking Facility, Public	C	C	C	C	
Public Maintenance and Service Facility	X	X	X	X	
Public Safety Facility	C	C	C	C	
Religious Facility	C	C	C	C	
Residential Care Facilities					
<i>Residential Care, General</i>	X	X	X	C	
<i>Residential Care, Limited</i>	L (2)	L (2)	C	P	
<i>Residential Care, Senior</i>	X	X	X	C	
Schools and Colleges					
<i>Public</i>	X	X	X	X	See Zoning Ordinance Section 7A
<i>Private and/or non- profit</i>	X	X	X	X	
COMMERCIAL USE TYPES					
Ambulance Service	X	C	C	X	
Adult Business Establishment	X	X	X	X	See Municipal Code Chapter 4 Article V
Animal Sales and Services					
<i>Animal Boarding</i>	X	X	C	X	
<i>Animal Clinic</i>	C	L (4)	P	X	
<i>Animal Grooming</i>	L (4)	L (4)	P	X	
<i>Animal Hospital</i>	X	C	C	X	

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<i>Animal Retail Sales</i>	C	C	P	X	
Artists' Studio	L (2)	L (2)	P	L (1)	
Automobile Vehicle Sales and Service					
<i>Automobile Rental</i>	X	X	C	X	
<i>Automobile/Vehicle New Sales and Leasing</i>	X	C	C	X	
<i>Automobile/Vehicle Used Sales and Leasing</i>	X	X	C	X	
<i>Automobile/Vehicle Service and Repair, Major</i>	X	X	C	X	
<i>Automobile/Vehicle Service and Repair, Minor</i>	X	C	C	X	See Zoning Ordinance Section 19
<i>Automobile/Vehicle Washing</i>	X	C	C	X	
<i>Automobile Wrecking Yard</i>	X	X	X	X	
<i>Large Vehicle Sales, Service, and Rental</i>	X	X	X	X	
Banks and Other Financial Institutions	C	L (3)	P	X	
<i>With Drive- Through Facilities</i>	X	X	X	X	
<i>Automated Teller Machines</i>	P	P	P	C	
<i>Check Cashing/Pay Day Lender</i>	X	X	X	X	
Bed and Breakfast	C	X	X	C	
Business Services	L (4)	L (4)	P	X	
Commercial Recreation					
<i>Amusement Arcades</i>	X	X	X	X	See Municipal Code Chapter 4 Article III
<i>Billiards/Poolroom</i>	C	C	C	X	
<i>Bowling Center</i>	X	X	C	X	

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<i>Fitness Center/Health Club, Major (20,000 sf or more)</i>	C	C	C	X	
<i>Fitness Center/Health Club, Minor (less than 20,000 sf)</i>	L (2), L (3)	P	P	L (1)	
<i>Golf Course, Public or Private</i>	X	X	X	X	
<i>Large-scale Commercial Recreation</i>	X	X	X	X	
<i>Stables</i>	X	X	X	X	
<i>Small-scale Commercial Recreation</i>	L (4)	L (4)	L (4)	X	
<i>Cyber Center</i>	L (7), L (3)	L (7), L (3)	L (7), L (3)	X	
Eating and Drinking Establishments					
<i>Bar/Night Club/Lounge</i>	C	C	C	X	
<i>Cabaret/Live Entertainment</i>	C	C	C	X	
<i>Restaurant, Fast Food</i>	C	C	C	C	
<i>Restaurant, Full Service</i>	P	P	P	L (1)	
<i>Restaurant, Limited Service (includes delis)</i>	P	P	P	L (1)	
<i>Restaurant, Take- Out Only</i>	P	P	P	L (1)	
<i>With Drive- Through Facilities</i>	X	X	X	X	
<i>With Outdoor Eating Areas</i>	L (8)	L (8)	C	X	Standards listed in Subsection 27.4.2
Food and Beverage Sales					
<i>Alcoholic Beverage Sales</i>	C	C	C	X	
<i>Convenience Market</i>	X	P	P	X	
<i>General Market</i>	P	P	P	L (4)	
<i>Food Preparation</i>	L (6)	L (6)	L (6)	C	

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Funeral Parlor/ Mortuary	X	C	C	X	
Home Occupation	P	P	P	P	Standards listed in Zoning Ordinance Section 2
Hotel	P	P	C	C	
Laboratory	X	X	C	X	
Live-work Unit	L (2)	L (2)	P	P	
Maintenance and Repair Services	C	C	C	X	
Motel	C	C	C	X	
Offices					
<i>General</i>	L (2)	L (2)	L (2), L (7)	L (3), L (1)	
<i>Medical and Dental</i>	L (2)	L (4)	L (4)	L (3), L (1)	
<i>Walk-in Clientele</i>	L (3)	L (3)	L (4)	L (3), L (1)	
Parking Facility, Commercial	C	C	C	C	
Personal Improvement Services	L (3)	L (4)	P	L (3), L (1)	
Business and Trade School	L (2)	L (2)	C	X	
Personal Services, General	L (3)	L (4)	P	L (3), L (1)	
<i>Day Spa</i>	C	C	C	X	
<i>State Certified Massage Therapy</i>	C	C	C	X	
Personal Services, Restricted					
<i>Self-Service Laundromat</i>	X	X	P	L (3), L (1)	
<i>Tanning Salon</i>	C	C	C	X	
<i>Tattoo Parlor</i>	X	X	X	X	
<i>Uncertified Massage Therapy</i>	X	X	X	X	
Retail Sales & Services					
<i>Appliance Sales</i>	L (4)	L (4)	P	X	
<i>Auto-related Accessories</i>	X	C	L (4)	X	
<i>Building Materials & Services</i>	X	L (5)	L (5)	X	
<i>General</i>	P	P	P	L (1), L (4)	

Table 27.3-1: Use Regulations					
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<i>Large Format (> 80,000 s.f.)</i>	X	X	X	X	
<i>Machinery Sales, Rental, Service (all storage inside)</i>	X	X	X	X	
<i>Nursery</i>	L (4)	L (5)	L (5)	X	
<i>Outdoor Sales and Display (Kiosk)</i>	L (8)	L (8)	X	X	See Subsection 27.4.1 for additional standards
<i>Pawnshops</i>	X	X	X	X	
<i>Self-service Sales of Flammable Liquids</i>	X	X	X	X	
<i>Swimming Pool Sales & Service</i>	X	C	C	X	
<i>Tobacco Sales</i>	X	X	X	X	
<i>Used Merchandise</i>	C	C	C	C	
<i>Theater, Live and movie</i>	L (5)	L (5)	C	X	
INDUSTRIAL USE TYPES					
Contractors' Yard	X	X	C	X	
Fuel Storage and Distribution (not service stations)	X	X	X	X	
Handicraft/Custom Manufacturing	C	C	C	X	
Industry, Limited	X	X	C	X	
Industry, General	X	X	X	X	
Research and Development	X	X	C	X	
Warehousing and Storage	X	X	X	X	
Indoor Commercial Storage	X	X	X	X	
Outdoor Storage	X	X	X	X	
Personal/Self Storage	X	X	X	X	
Wholesale Distribution and Storage	X	X	X	X	
COMMUNICATION, TRANSPORTATION, AND UTILITIES USE TYPES					
Communication Facilities					

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<i>Building Mounted Antenna</i>	C	C	C	C	See Zoning Ordinance Section 25
<i>Monopole Antenna</i>	C	C	C	C	See Zoning Ordinance Section 25
<i>Wireless Communication Facility</i>	C	C	C	C	See Zoning Ordinance Section 25
<i>Wireless Communication Facility - Co- located</i>	C	C	C	C	See Zoning Ordinance Section 25
Transportation Uses					
<i>Airport</i>	X	X	X	X	
<i>Passenger Transportation Facility</i>	C	C	C	X	
<i>Truck Storage Yard or Terminal</i>	X	X	X	X	
<i>Vehicular Towing Operations</i>	X	X	X	X	
Recycling Facilities					
<i>Recycling Collection Point</i>	X	X	C	X	
<i>Recycling Processing Facility</i>	X	X	X	X	
<i>Reverse Vending Machine</i>	C	C	C	X	
<i>Hazardous Waste Facility</i>	X	X	X	X	
<i>Utilities, Major</i>	X	X	X	X	
<i>Utilities, Minor</i>	P	P	P	P	See Zoning Ordinance Subsection 9.9.1
<i>Solar energy system</i>	P	P	P	P	
AGRICULTURAL USE TYPES					
<i>Crop and Animal Raising</i>	X	X	X	X	
OTHER APPLICABLE REGULATIONS					
<i>Temporary Uses</i>					See Zoning Ordinance Subsection 9.5.2

Table 27.3-1: Use Regulations					
	<i>PEDESTRIAN CORE V-2</i>	<i>CORRIDORS V-3</i>	<i>SERVICE COMMERCIAL V-4</i>	<i>RESIDENTIAL MIXED-USE V-R</i>	<i>ADDITIONAL REGULATIONS</i>
Uses open between 11:00 pm and 7 am	C	C	C	X	
Uses with exterior refrigeration or equipment if within 100 feet of residential uses	C	C	C	X	

27.4 Standards for Specific Uses and Activities

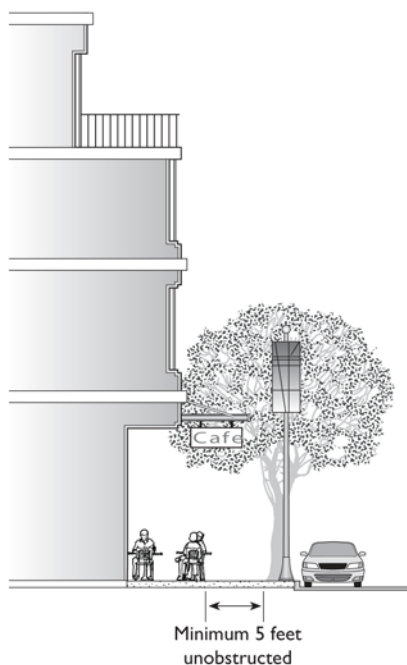
1. Outdoor Retail Sales.

- a. **Temporary Outdoor Retail Sales.** Zoning Administrator approval is required for the outdoor display of merchandise that is completely removed at the close of business each day. Temporary outdoor retail sales shall be located and operated in compliance with the following standards:
 - i. **Location of Merchandise.** Displayed merchandise shall occupy a specifically approved and defined location that does not disrupt the normal function of the site or its circulation. Displayed merchandise shall be located outside of any fire lane or fire access way and shall not obstruct sight distances or otherwise create hazards for vehicle or pedestrian traffic.
 - ii. **Removal of Merchandise.** All outdoor merchandise and display must be completely removed by 11 pm each day, or a conditional use permit shall be required.
- b. **Permanent Outdoor Retail Sales.** Conditional use permit approval is required for the permanent outdoor display of merchandise. Permanent outdoor retail sales shall be located, developed, and operated in compliance with the following standards:
 - i. **Location.** Outdoor sales shall be located entirely on private property outside any required setback, fire lane, fire access way, or landscaped planter in zoning districts that do not have required setbacks.
 - ii. **Screening.** All outdoor sales and activity areas shall be screened from adjacent public rights-of-way and R districts by decorative solid walls, solid fences, or landscaped berms.
 - iii. **Location of Merchandise.** Displayed merchandise shall occupy a fixed, specifically approved and defined location that does not disrupt the normal function of the site or its circulation and does not encroach upon parking spaces, driveways, pedestrian walkways, or required landscaped areas. These displays shall also not obstruct sight distances or otherwise create hazards for vehicle or pedestrian traffic.

2. Outdoor Seating. Eating and drinking establishments with outdoor seating areas shall be located, developed, and operated in compliance with the following standards:

- a. **Location.**
 - i. **Unobstructed Access.** Outdoor seating areas are permitted on any public sidewalk or alley, or private property adjacent to the public sidewalk, provided a minimum of five (5) feet of public sidewalk or 10 feet of public alley remains unobstructed for pedestrian or vehicle uses.
 - ii. **Other Locations.** The City Council may also designate (by resolution) other areas on public right-of-way where outdoor seating is permitted, including but not limited to plazas, parks, and parking spaces.

Figure 27.4-1: Outdoor Seating



- b. **Conditional Use Permit.** A conditional use permit is required when the outdoor seating area is located immediately abutting the property line of a residential district, or contains more than five tables or seating for 15 customers.
- c. **Barriers.** The use of barriers around the outdoor seating area may be permitted, provided the design is approved by the Zoning Administrator.
- d. **Hours of Operation.** The hours of operation for an outdoor seating area shall be limited to the hours of operation of the associated eating and drinking establishment.
 - iii. **Adjacent to Residential.** Hours may be limited further when adjacent to a single-family residential district.
 - iv. **Removal of Furnishings.** All furnishings, including movable barriers, shall be removed from the public right-of-way and public view at the close of business each day.
 - v. **Permanent Furnishings.** Permanent furnishings for outdoor seating in the public right-of-way may be granted with a permit approved by the Zoning Administrator and Public Works Director, if the following findings can be met:
 - The furnishings, such as seats, tables, and railings, provide a visual amenity that enhances the character of Downtown; and
 - Ample room remains for pedestrian circulation and handicapped access in public sidewalks.
- e. **Refuse Storage Area.** No structure or enclosure to accommodate the storage of trash or garbage shall be erected or placed on, adjacent to, or separate from an outdoor seating area on the public sidewalk or right-of-way.

27.5 Development Standards

The following graphics, Figures 27.5-1 through 27.5-4, illustrate how the development standards apply to typical lot sizes in the Village districts. These graphics are intended to explain the development standards and illustrate types of development that are appropriate in the districts. The graphics are purely illustrative and do not depict actual project designs, and many other types of projects are possible under the regulations. The standards in Table 27.5-1 govern the review of projects.

Figure 27.5-1A: V-2 Pedestrian Core District - Mixed-Use Project (Plan View)

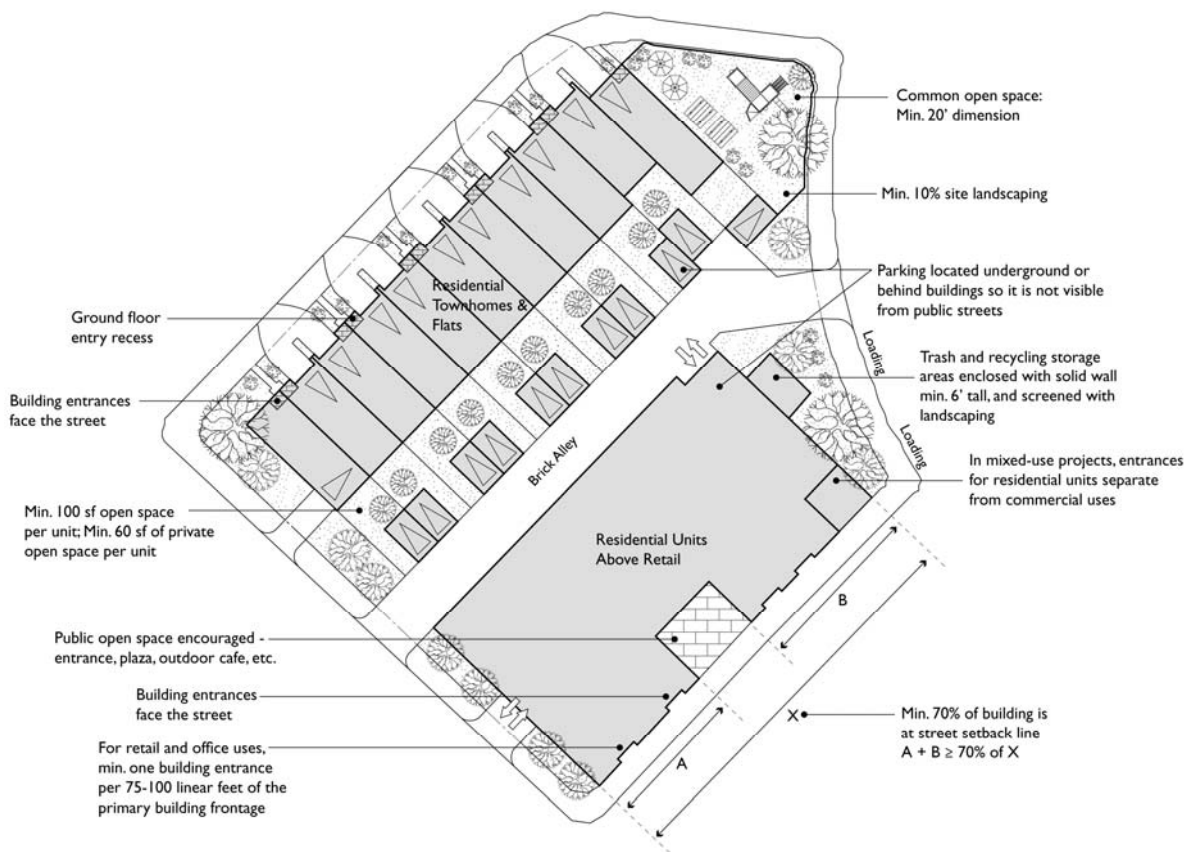


Figure 27.5-1B: V-2 Pedestrian Core District - Mixed-Use Project (Section View)

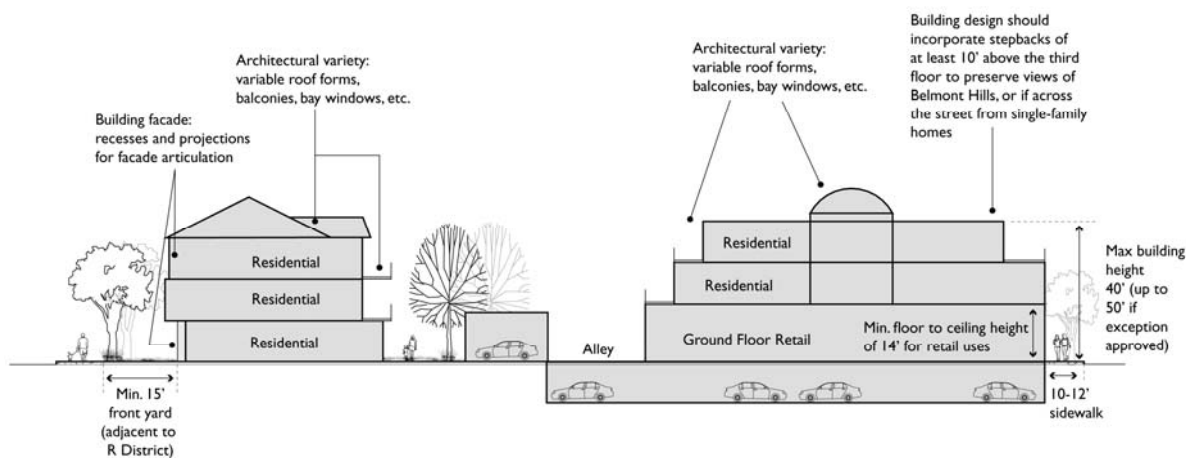


Figure 27.5-2A: V-2 Pedestrian Core District - Mixed-Use with Underground Parking Project (Plan View)

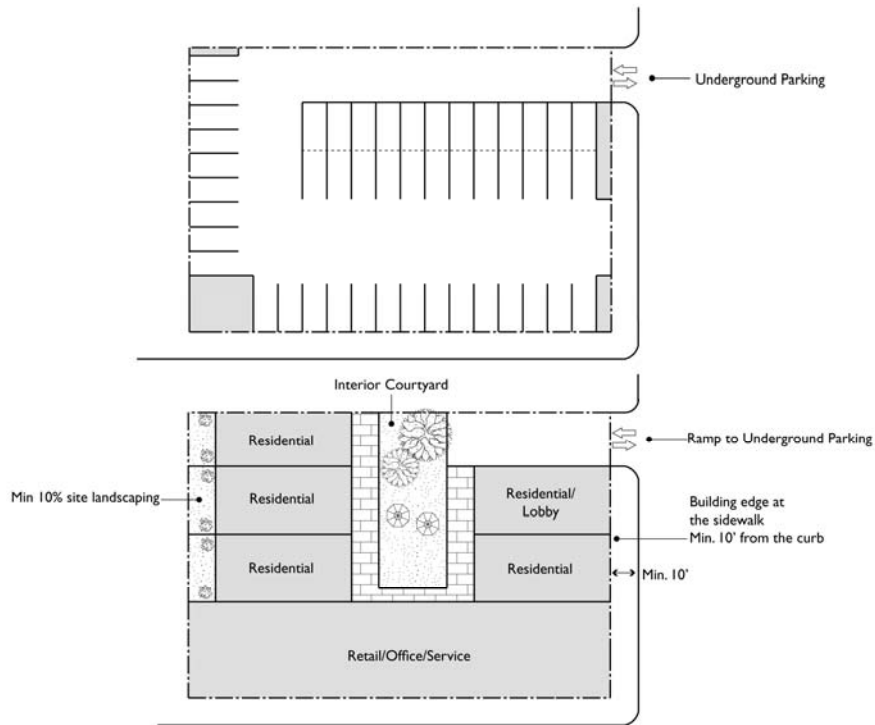


Figure 27.5-2B: V-2 Pedestrian Core District - Mixed-Use with Underground Parking Project (Section and Elevation Views)

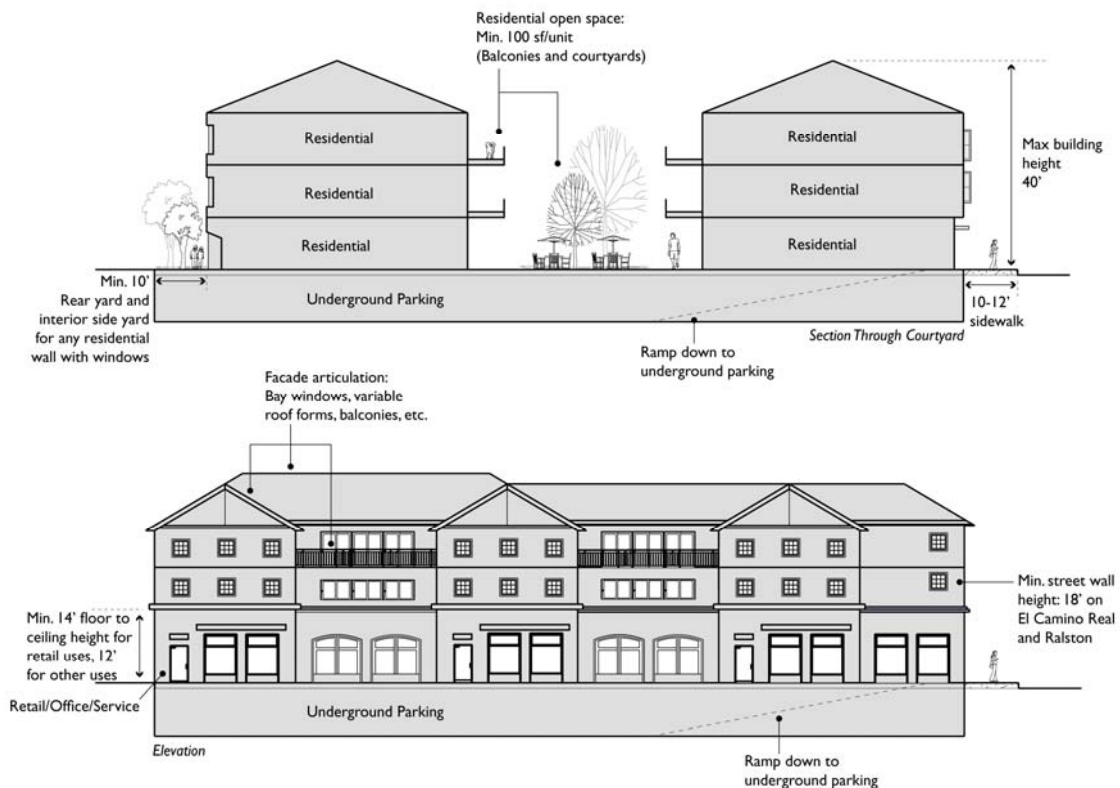


Figure 27.5-3A: V-3 Village Corridor/V-2 Pedestrian Core Districts - Mixed-Use Project (Plan View)

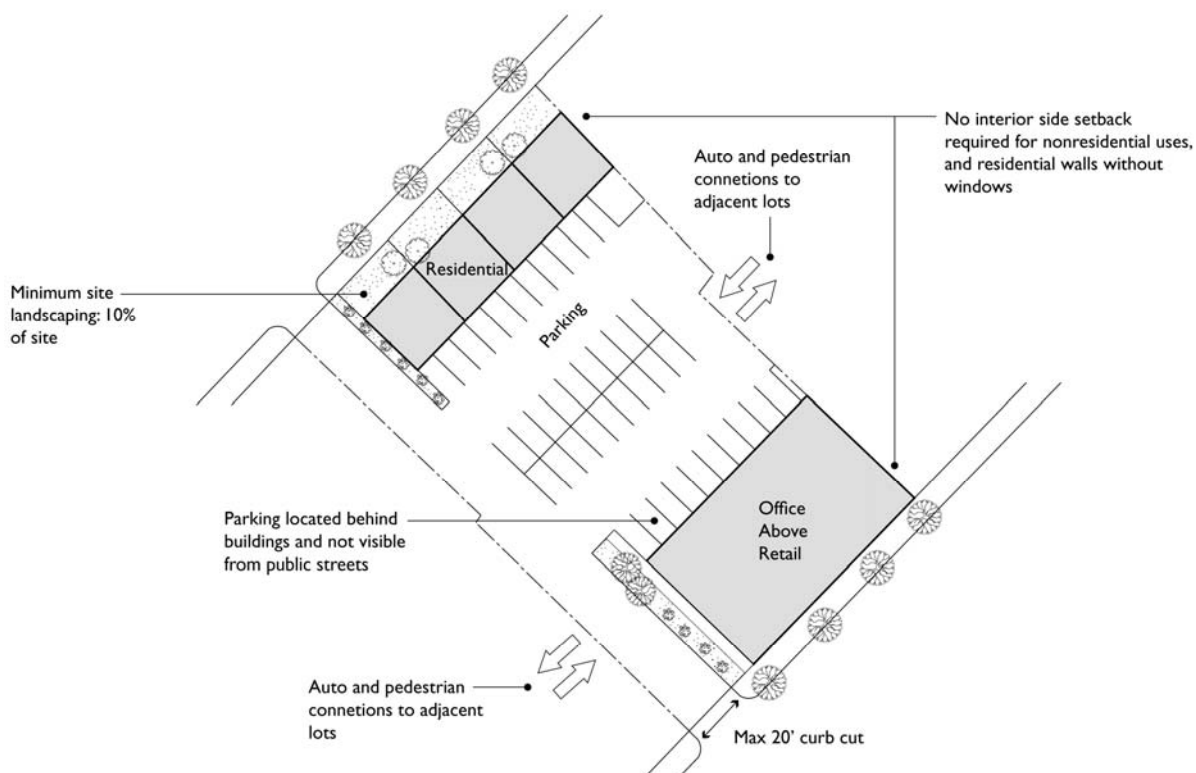


Figure 27.5-3B: V-3 Village Corridor/V-2 Pedestrian Core Districts - Mixed-Use Project (Section View)

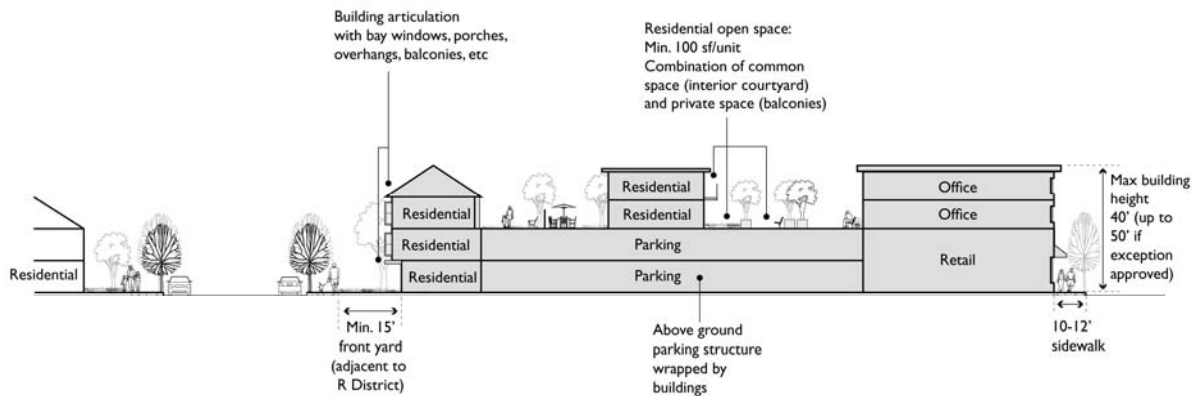


Figure 27.5-4: V-4 Village Service Commercial District – Live/Work Project (Plan, Section, and Elevation Views)

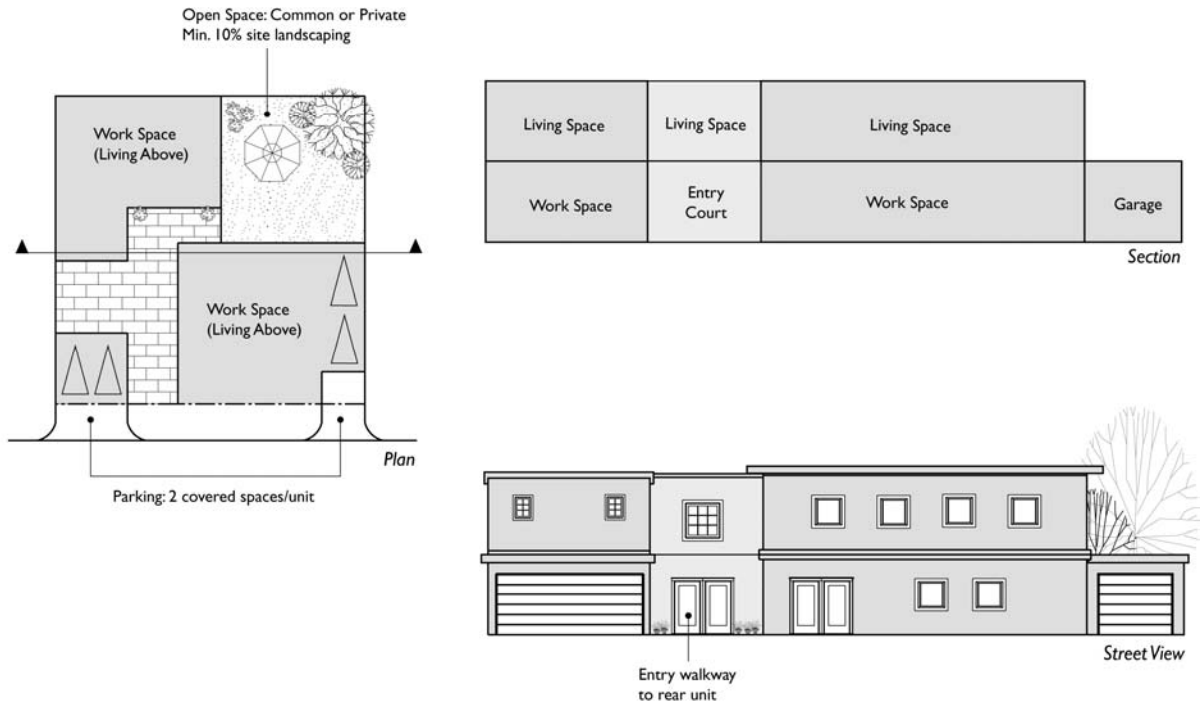


Table 27.5-1 prescribes the development regulations for Village districts, including lot dimensions, building form and location, pedestrian orientation, vehicle accommodation and other standards. The “Additional Regulations” column indicates more detailed explanations or regulations follow the table (by letter designation) or are located elsewhere in this Zoning Code.

Table 27.5-1: Development Standards					
	<i>ADDITIONAL REGULATIONS</i>	<i>PEDESTRIAN CORE V-2</i>	<i>CORRIDORS V-3</i>	<i>SERVICE COMMERCIAL V-4</i>	<i>RESIDENTIAL MIXED-USE V-R</i>
LOT SIZE AND DENSITY					
Minimum Lot Area - (sq ft)		5000	7200	7200	7200
Minimum Lot Width and Lot Frontage - (sq ft)		50	60	60	60
Minimum Residential Density for Residential and Residential Mixed Use Projects (du/acre)		20	20	20	20
Maximum Residential Density (du/acre)	See Subsection 27.5.1	30	30	30	30
Maximum Residential Density with Exception (du/acre)	See Subsections 27.5.1 and 27.8.5	45	45	45	45

Table 27.5-1: Development Standards					
	<i>ADDITIONAL REGULATIONS</i>	<i>PEDESTRIAN CORE V-2</i>	<i>CORRIDORS V-3</i>	<i>SERVICE COMMERCIAL V-4</i>	<i>RESIDENTIAL MIXED-USE V-R</i>
BUILDING FORM					
Maximum Floor Area Ratio	FAR defined in Subsection 27.2.2. See Subsection 27.5.2.a.	2.5	2.5	2.5	2.5
Maximum Floor Area Ratio with Exception	See Subsections 27.5.2 and 27.8.5	3.0	3.0	3.0	3.0
Maximum Building Height (ft)	See Subsection 27.5.3. and Figure 27.5-5.	40	40	40	40
Maximum Building Height with Exception (ft)	See Subsections 27.5.3 and 27.8.5	50	50	50	50
Building Bulk (maximum floor footprint as percent of first floor footprint)	See Subsection 27.5.4	1-story: 100% 2-story: 100% 3-story: 85% 4-story: 75%	1-story: 100% 2-story: 100% 3-story: 90% 4-story: 80%	1-story: 100% 2-story: 100% 3-story: 90% 4-story: 80%	1-story: 100% 2-story: 100% 3-story: 85% 4-story: 75%
Maximum Building Length	See Subsection 27.5.4	100	150	150	100
SITE DESIGN AND SETBACKS					
Setbacks and Yard (ft) See Zoning Ordinance Subsection 9.7 for more information.					
Building Placement - Minimum Percent of Building Located at or within 10 feet of the sidewalk	See Subsection 27.5.5	70	70	70	70
Minimum Clear Sidewalk (excluding curb zone) (ft)	See Subsection 27.5.5 and Figure 27.5-6	6	6	6	4

Table 27.5-1: Development Standards					
	ADDITIONAL REGULATIONS	PEDESTRIAN CORE V-2	CORRIDORS V-3	SERVICE COMMERCIAL V-4	RESIDENTIAL MIXED-USE V-R
Minimum Setback on Street Frontages	See Subsection 27.5.4.a and Figure 27.5-7	10 required 12 preferred (from curb)	10 (from curb)	10 (from curb)	15 (from property line)
Maximum Setback on Street Frontages	See Subsection 27.5.5 and Figure 27.5-7	20 (from curb)	20 (from curb)	20 (from curb)	20 (from property line)
Minimum Interior Side		Non-residential: 0; Residential: 10 for any building wall with windows	Non-residential: 0; Residential: 10 for any building wall with windows	Non-residential: 0; Residential: 10 for any building wall with windows	10 for any building wall with windows
Minimum Rear		Non-residential: 0; Residential: 10	Non-residential: 0; Residential: 10	Non-residential: 0; Residential: 10	10
Transitional Yards adjacent to R District	See Zoning Ordinance Subsection 9.7.5. See Subsection 27.5.5 and Figure 27.5-8	Front across street: 15 Side adjacent to side or rear: Same as R side setback Rear adjacent to side: Same as R side setback Rear adjacent to rear: 10 Front adjacent to front: Same as R front setback for at least 50 feet			
OPEN SPACE AND LANDSCAPING					
Minimum Open Space per Residential Unit (sq ft)	See Subsection 27.5.6 and Figure 27.5-9	100	100	100	100
Minimum Landscaping (% of site)	See Subsection 27.5.7	10	10	10	20

Table 27.5-1: Development Standards

	<i>ADDITIONAL REGULATIONS</i>	<i>PEDESTRIAN CORE V-2</i>	<i>CORRIDORS V-3</i>	<i>SERVICE COMMERCIAL V-4</i>	<i>RESIDENTIAL MIXED-USE V-R</i>
PARKING					
Parking Location and Screening	See Subsection 27.6.1	Parking shall be located either underground, or behind habitable space so that it is not visible from a public street. Parking is not permitted to be located between a public street and a building, except on corner lots or large shopping centers, if approved as a modification to development standards.			
Residential Uses (per unit)	See Section 8.4 for required parking requirements for uses not listed here	Minimum: Studio, Senior: 1 1-bedroom: 1.5 2 bedrooms: 2			
Retail, Office, and Service Uses (per 1000 sq ft of gross floor area)		Minimum: 3; Maximum: 4	Minimum: 3; Maximum: 4	Minimum: 3; Maximum: 4	Minimum: 3; Maximum: 4
Restaurant Uses (per 1000 sq ft of gross floor area)		Minimum: 6; Maximum: 17	Minimum: 6; Maximum: 17	Minimum: 6; Maximum: 17	Minimum: 6; Maximum: 17

Additional Development Standards. The following standards and requirements apply to all Village Districts.

1. **Residential Density.**

- a. **Mixed Use Projects.** In mixed use projects combining commercial and residential uses, the total maximum FAR standard of 2.5 shall apply. The minimum and maximum residential density standards also apply.
- b. **Increase through Development Standard Exception.** The maximum residential density standard for a project may be increased up to 45 units per acre through a development standard exception, as described in Subsection 27.8.5.

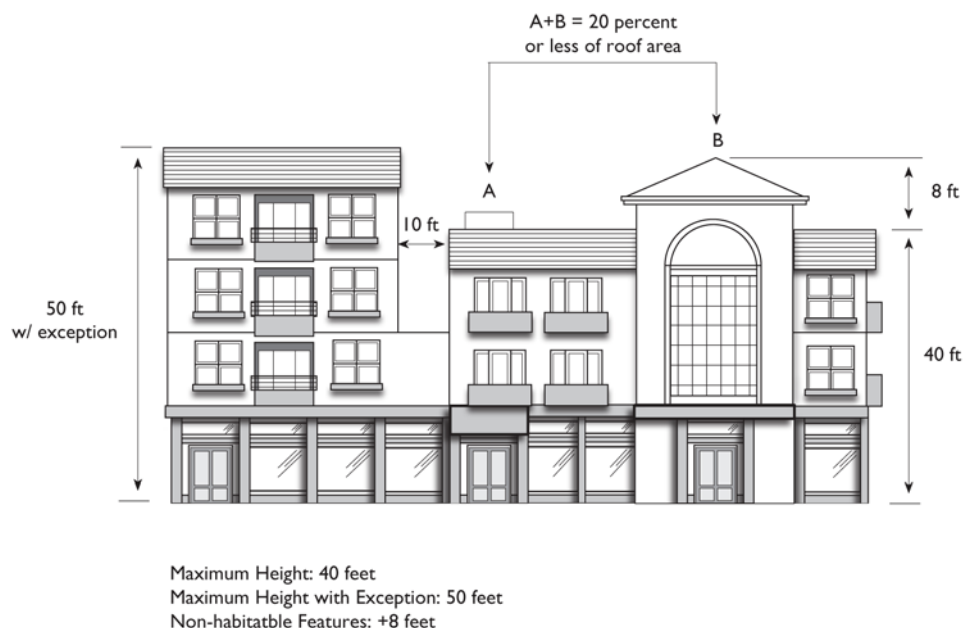
2. **Floor Area Ratio.** (as defined in Subsection 27.2)

- a. **Development Requirements.** Projects must meet all development standards, and therefore, on an individual site, a project may not necessarily be able to achieve the maximum FAR.
- b. **Increase through Development Standard Exception.** The maximum FAR standard for a project may be increased up to 3.0 through a development standard exception, as described in Subsection 27.8.5.

3. **Building Height.**

- a. **Increase through Development Standard Exception.** The maximum building height standard for a project may be increased up to 50 feet through a development standard exception, as described in Subsection 27.8.5. See Figure 27.5-5.
- b. **Allowed Exceptions.** Non-habitable building features such as chimneys (up to 6 feet in width), cupolas, flagpoles, monuments, steeples, roof screens, equipment, and similar structures, covering no more than 15 percent of the top floor roof area to which they are accessory, may exceed maximum permitted height standards by eight (8) feet.

Figure 27.5-5: Building Height Limits and Allowed Exceptions (To be modified to show 15% exception)



4. **Building Form and Massing.**

- a. **Building Bulk.** Avoid large scale bulky or boxy building forms.
 - i. ***Upper Floors.*** Each story above the second story shall be less than the first floor footprint as described in Table 27.5-1.
 - ii. ***Primary Street Frontage.*** At least 50 percent of the reduced footprint of the upper levels shall be along the primary street frontage.
- b. **Building Articulation.** Building design shall include adequate features to create visual variety.
 - i. ***Modules.*** Long facades shall be broken up into smaller modules. Buildings shall be articulated in 25 to 50 foot increments to be consistent with traditional development patterns in downtown.
 - ii. ***Three-Dimensional.*** Building mass and surfaces shall be articulated with three-dimensional elements that create visual interplay of light and shadows. Examples of three-dimensional elements include cornices, brackets, awnings, window trim, recessed windows, door surrounds, and recessed building entrances.
- c. **Building Length.** For large buildings, the primary frontage of buildings above the ground floor shall have substantial breaks at a minimum of 100 foot intervals in the V-2 and V-R districts or at a minimum of 150 foot intervals in the V-3 and V-4 districts, in order to reduce the building bulk seen from the street.
 - i. ***Building Breaks.*** Substantial recesses or changes in height are considered building breaks. . Recesses should be at least 10 feet in all dimensions, and changes in height should be at least 8 feet.
 - ii. ***Building Separations.*** For projects that exceed 250 feet in length, a complete building separation should be provided such that a pedestrian walkway through site is provided.

Figure 27.5-6: V-2 Building Bulk, Articulation, and Length (Large Site)

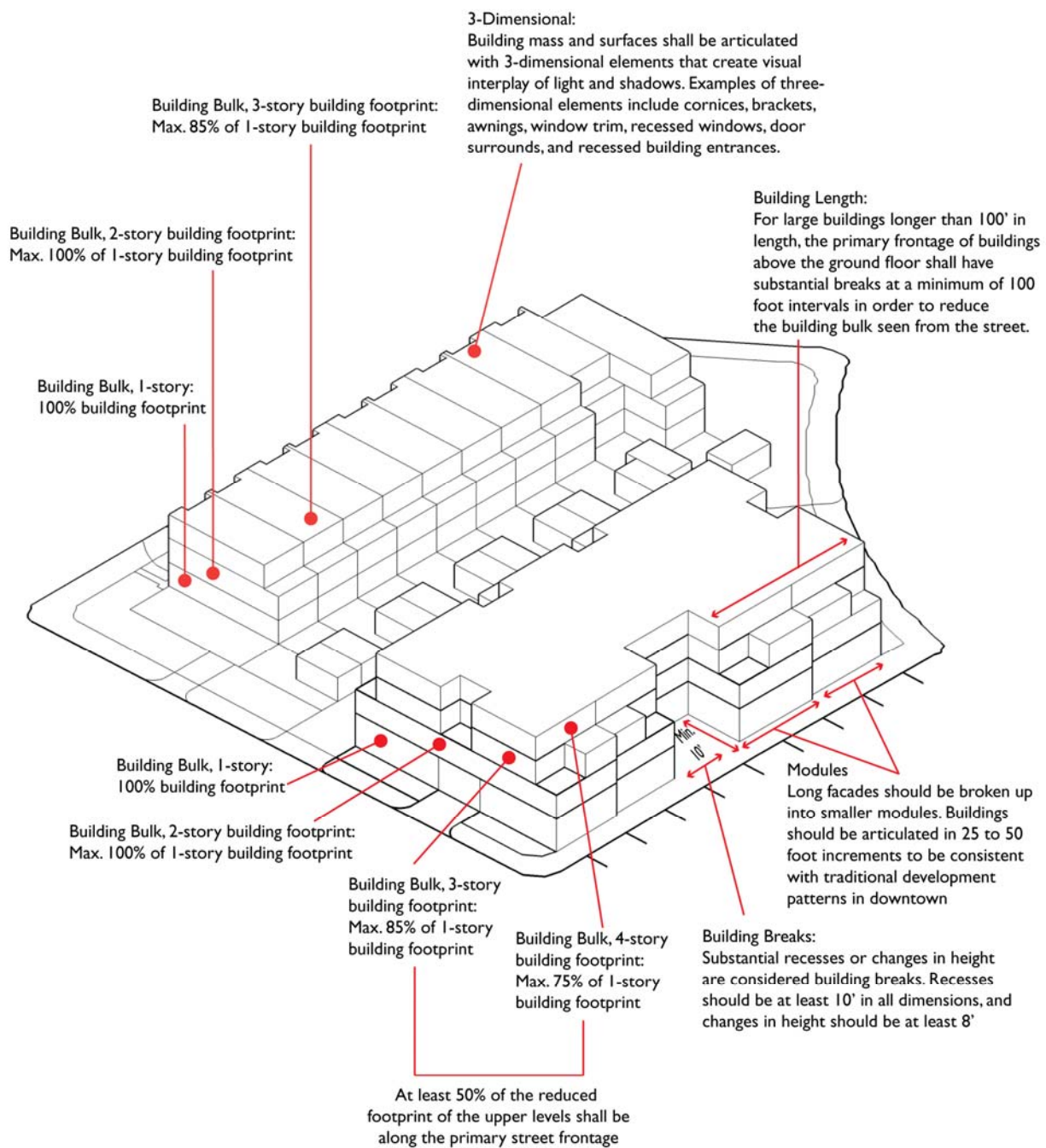


Figure 27.5-7: V-2 Building Bulk, Articulation, and Length (Small Site)

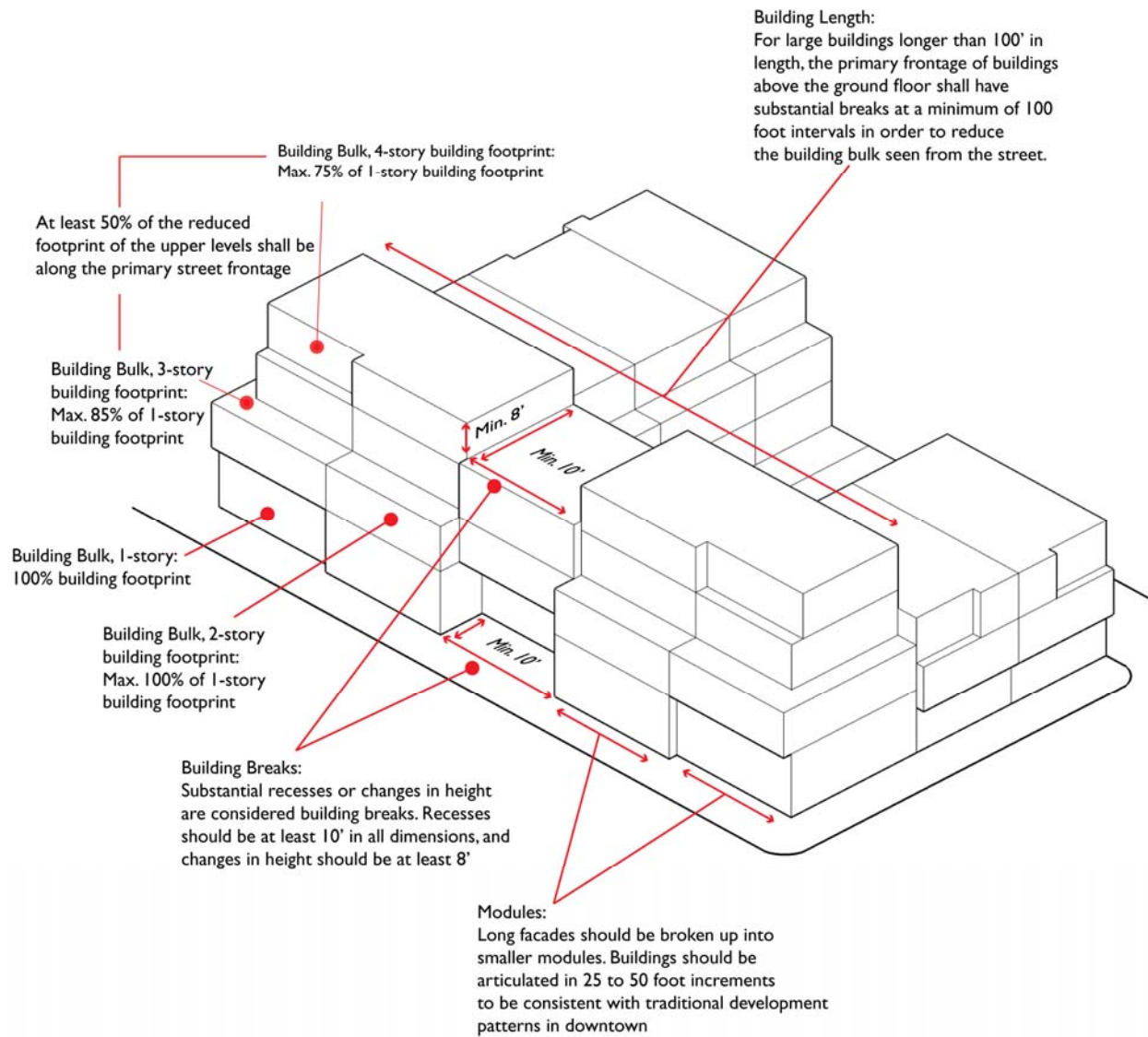
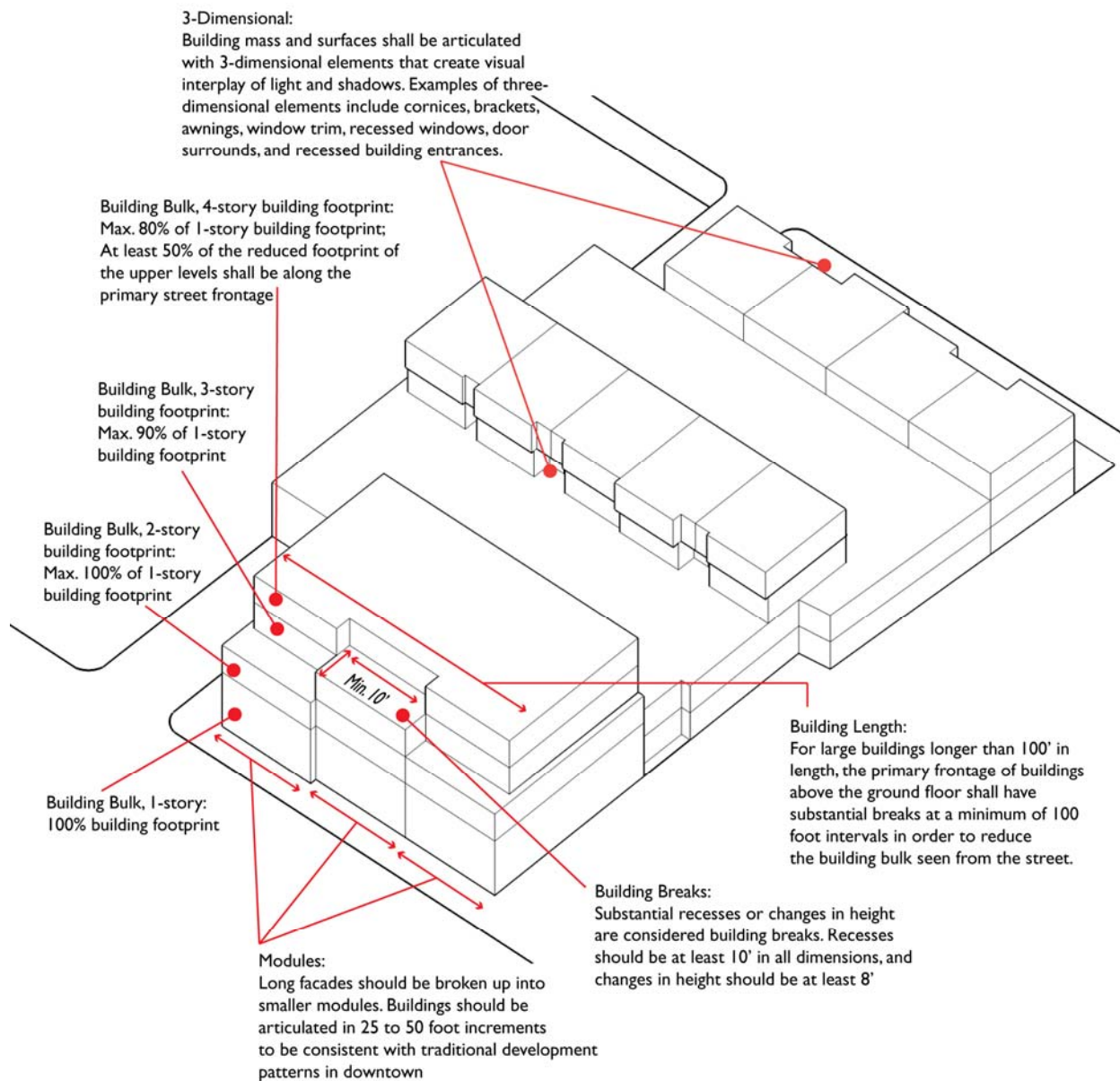


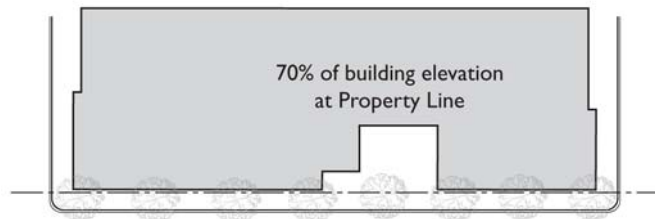
Figure 27.5-8: V-3 Building Bulk, Articulation, and Length



5. Site Planning.

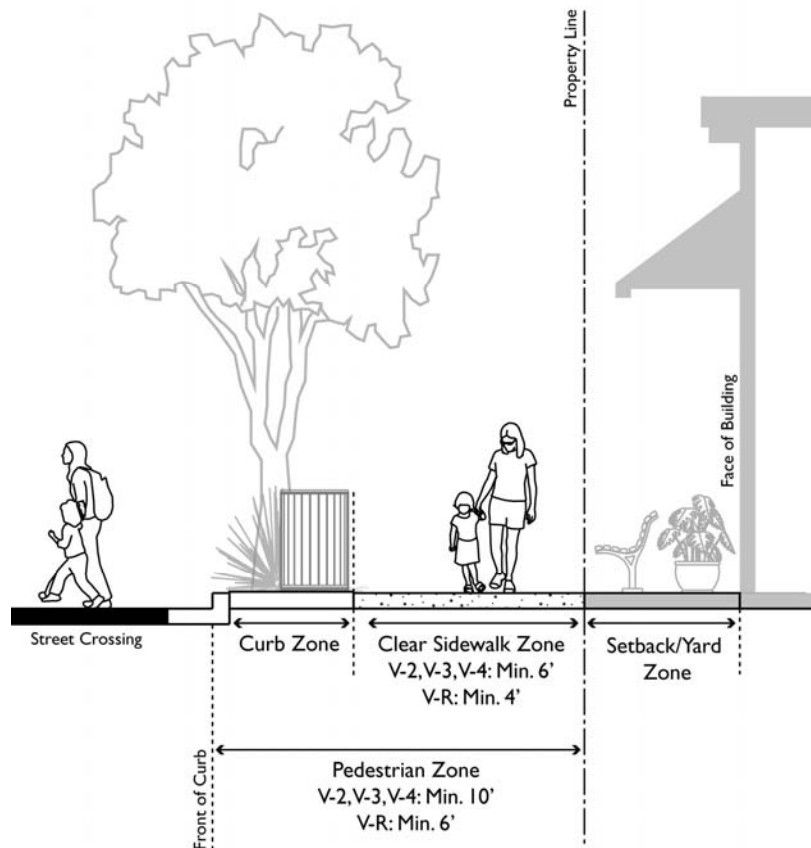
- a. **Building Placement.** Locate buildings at (or within 10 feet of) the sidewalk for at least 70 percent of the primary street frontage, in order to create a pedestrian-oriented, continuous streetwall.

Figure 27.5-9: Building Placement (To be modified)



- b. **Pedestrian Realm.** The area between the curb and the building is defined in three sections: curb zone, clear sidewalk, and setback (yard).
- i. **Curb Zone.** Utility poles and trees will be placed in the curb zone. Curb zones should be approximately four (4) feet in width.
 - ii. **Clear Sidewalk.**
 - V-2, V-3, V-4: A minimum of six (6) feet must be maintained clear to provide adequate walkway area.
 - V-R: A minimum of four (4) feet must be maintained clear to provide adequate walkway area.

Figure 27.5-10 Pedestrian Realm



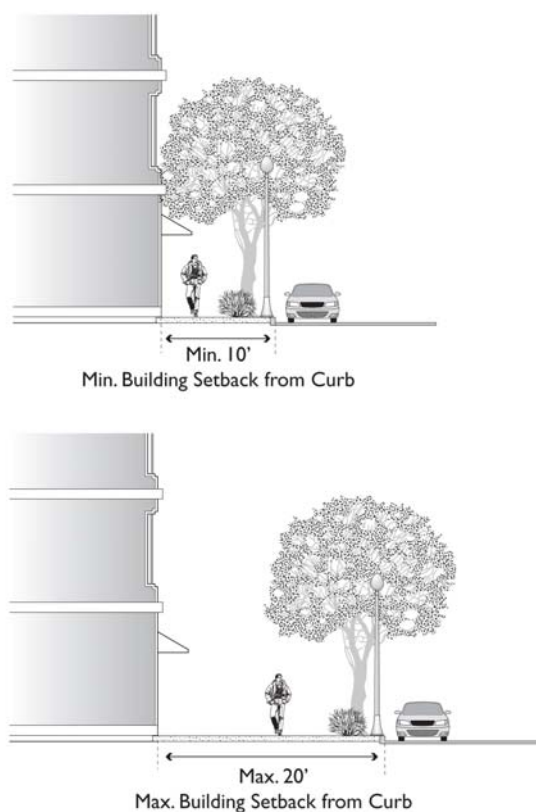
c. **Setbacks and Yards.**

i. ***Minimum and Maximum Setbacks on Street Frontages.***

- In the V-2, V-3, and V-4 districts, buildings shall be set back a minimum of 10 feet and a maximum of 20 feet from the curb, providing at least a 10 foot sidewalk.
- In V-R districts, buildings shall be set back a minimum of 15 feet and a maximum of 20 feet from the property line, providing at least a 6 foot sidewalk and a 15 foot front yard.

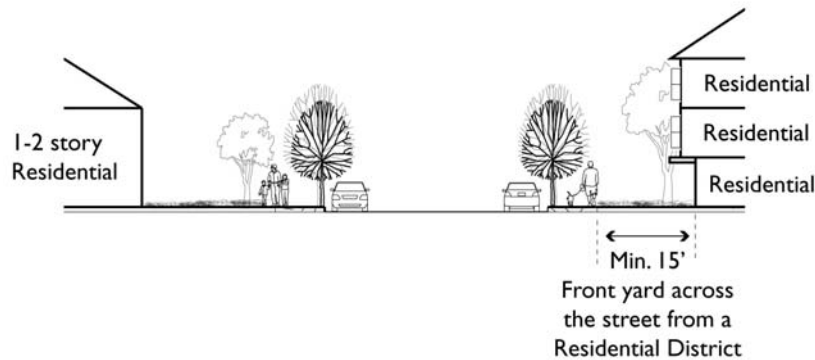
ii. ***Buildings with Outdoor Seating.*** Portions of buildings with outdoor seating areas adjacent to the sidewalk may be set back up to 15 feet from the property line, and may be set back farther with approval of a development standard modification.

Figure 27.5-11: Building Setbacks along Streets (Additional graphics to be added to show V-R standards, and outdoor seating exception)



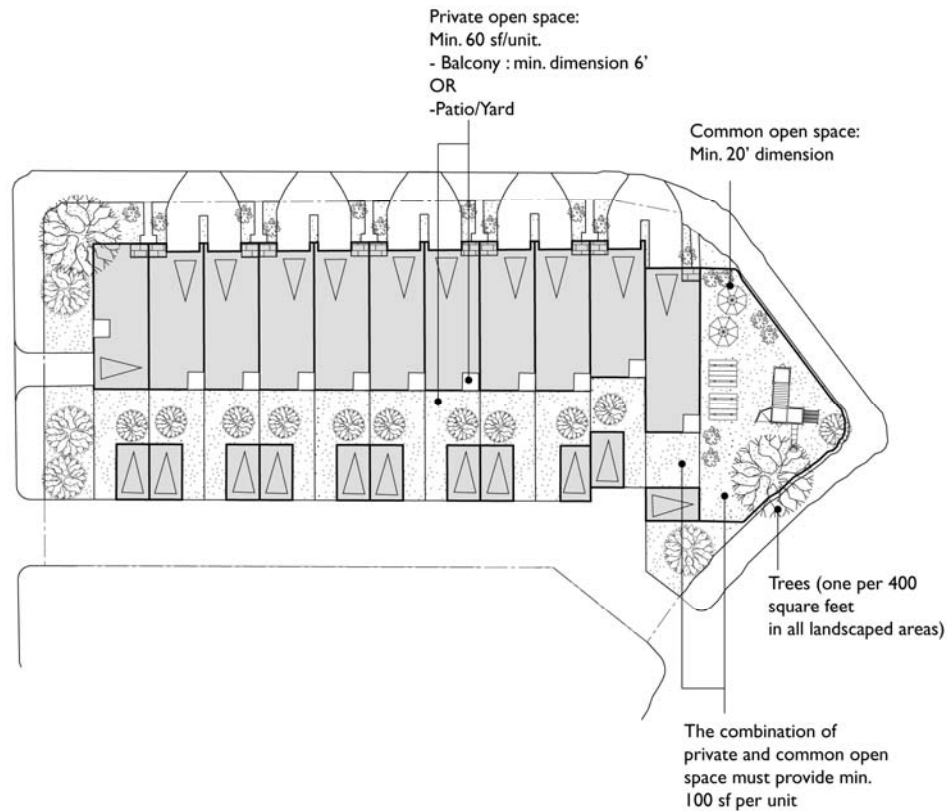
d. **Transition Yards.** A minimum of a 15 foot setback from the front property line shall be provided when adjacent to or across the street from residential districts.

Figure 27.5-12: Transition Yards



6. **Residential Open Space.** A combination of private and common open spaces shall be provided in multi-family and mixed-use developments in accordance with this Subsection. Private areas typically consist of balconies, decks, fenced yards, and other similar areas outside of the residence. Common areas typically consist of landscaped areas, patios, swimming pools, barbeque areas, playgrounds, turf, or other such improvements which are appropriate to enhance the outdoor environment.
 - a. **Exclusions.** Residential open space excludes required vehicular driveway and parking areas.
 - b. **Location.** All required residential open space shall be located or designed in such a way that the ambient noise levels meet the City's noise standards.
 - c. **Private Open Space.** Private open space shall be a minimum of 60 square feet per unit, a minimum dimension of six feet, and shall be accessibly to only one residential unit.
 - d. **Common Open Space.** Common open space shall be contiguous and shall have a minimum dimension of 20 feet, and shall be accessible to all residential units on the site.
 - e. **Alternative Common Open Space.** If the lot is (less than 10,000 square feet) very small, and it is not feasible to provide outdoor open space, common open space shall be provided in interior common areas such as community or fitness rooms.
 - f. **In-Lieu Payments.** In-lieu payments for a City-planned public park or plaza within 500 feet of proposed project may be accepted in lieu of on-site common open space, at the discretion of the Planning Commission.

Figure 27.5-13: Residential Open Space Requirements



7. **Landscaping.**

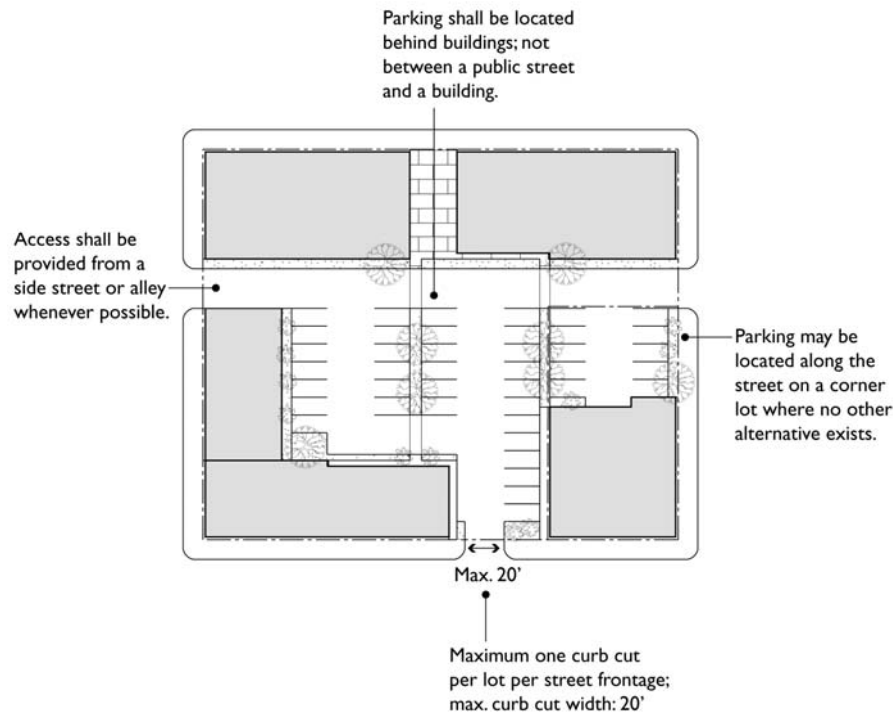
- a. **Minimum Landscaping - Reduction through Development Standard Modification.** The minimum landscaping per lot may be reduced or waived through a development standard modification.
- b. **Trees.** A minimum of one tree shall be provided for each 400 square feet or fraction thereof of all required landscaped areas.
- c. **Water Efficiency.** Landscaping shall be designed and plantings selected so that water use is minimized, as defined in Municipal Code Section 25.5-26.

27.6 Supplemental Regulations

1. **Parking.** Parking shall be provided as indicated in Table 27.5-1, and developed and maintained according to the general standards of Section 8, Off-Street Parking and Loading, as well as the regulations of this subsection.
 - a. **Calculation of Required Spaces.**
 - i. **Exemption.** For existing buildings of 2,500 square feet of gross floor area or less, and with two or fewer tenants, the minimum parking requirements do not have to be met when retail or restaurant uses are proposed.
 - ii. **Fractions:** If the calculation of required parking or loading spaces results in the requirement of a fractional space, such fraction, if one-half (0.5) or greater, shall be considered one additional space; if the fraction is less than one-half (0.5), it shall result in no additional spaces.
 - iii. **On-Street Parking.** On-street parking spaces located immediately adjacent to the frontage of the property may be counted toward required off-street parking for non-residential uses.
 - iv. **Sites with Multiple Uses.** If more than one use is located on a site, the number of required on-site parking spaces and loading spaces shall be equal to the sum of the requirements prescribed for each use unless a reduction for shared parking is approved pursuant to Subsection 27.6.1.d, Shared Parking.
 - b. **Location of Required Parking.**
 - i. **Residential Uses.** Required parking for residential uses shall be located on the same lot as the dwelling served, or in a common parking area not more than 400 feet from the dwellings served. Parking shall not be located within a required front or street-facing side yard.
 - ii. **Nonresidential Uses.** Required parking spaces serving commercial, industrial, and other non-residential uses shall be located on the same lot as the use they serve, or in an off-site parking facility as provided in Subsection 27.6.1.c.
 - c. **Off-site Parking Facilities.** A parking facility serving one or more non-residential uses located on a site other than the site of one or more such use(s) may be approved if the standards of this subsection are met.
 - i. **Location.** Any off-site parking facility must be located within 1000 feet, along a pedestrian route, of the principal entrance containing the use(s) for which the parking is required.
 - ii. **Parking Agreement.** A written agreement between the landowner(s) and the City shall be filed, in a form satisfactory to the City Attorney, and including:
 - A guarantee among the landowner(s) for access to and use of the parking facility;
 - A guarantee that the spaces to be provided will be maintained and reserved for the uses served for as long as such uses are in operation; and
 - Evidence that the agreement has been recorded in the County Recorder's office.

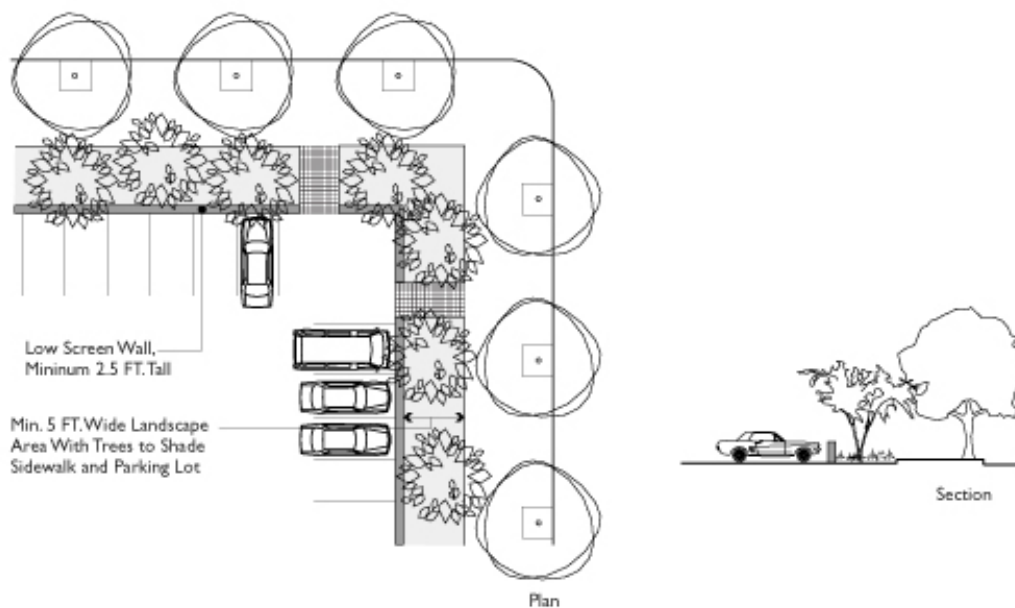
- d. **Parking Reductions.** The number of on-site motor vehicle parking spaces required by Table 27.5-1 may be reduced in accordance with the provisions of this Subsection through the modification to development standards review process.
- i. ***Residential Uses.*** If a developer can demonstrate that a multi-family residential, group residential, or service-oriented housing project designed for residents with special needs, such as senior citizens or handicapped individuals, will not generate a need for as much parking as such a project designed for a general market, the Planning Commission shall have the authority to allow a reduction in the number of required parking spaces. Upon conversion of a senior citizen or other special needs group housing project to a general market apartment or condominium complex, parking must be provided consistent with the requirements of Table 27.5-1.
- ii. ***Shared Parking.*** Where a shared parking facility serving more than one use will be provided, the total number of required parking spaces may be reduced, if the Planning Commission finds that all of the following are true:
- The peak hours of use will not overlap or coincide to the degree that peak demand for parking spaces from all uses will be greater than the total supply of spaces;
 - The adequacy of the quantity and efficiency of parking provided will equal or exceed the level that can be expected if parking for each use were provided separately;
 - A parking demand study prepared by an independent traffic engineering professional approved by the City supports the proposed reduction; and
 - In the case of a shared parking facility that serves more than one property, a parking agreement has been prepared consistent with the provisions of Subsection 27.6.1.c, Off-Site Parking Facilities.
- iii. ***Other Parking Reductions.*** Required parking for any use may be reduced if a parking demand study has been submitted that substantiates the basis for granting the reduced number of spaces and that:
- The use will adequately be served by the proposed parking; and
 - Parking demand generated by the project will not exceed the capacity of or have a detrimental impact on the supply of on-street parking in the surrounding area.
- e. **Parking Location and Screening.**
- i. ***Location.*** Parking shall not be located between a public street and a building. For corner lots where no other alternative exists, the parking shall be located away from the active pedestrian frontage, as illustrated in Figure 27.6-1.

Figure 27.6-1: Parking Location and Access



- ii. **Screening.** Surface parking lots shall be screened with a low decorative 2.5- to 3.5-foot high wall or fence that screens parked vehicles from view. Landscaping at least five feet in depth shall be planted between the sidewalk and the screen wall.

Figure 27.6-2: Surface Parking Lot Screening



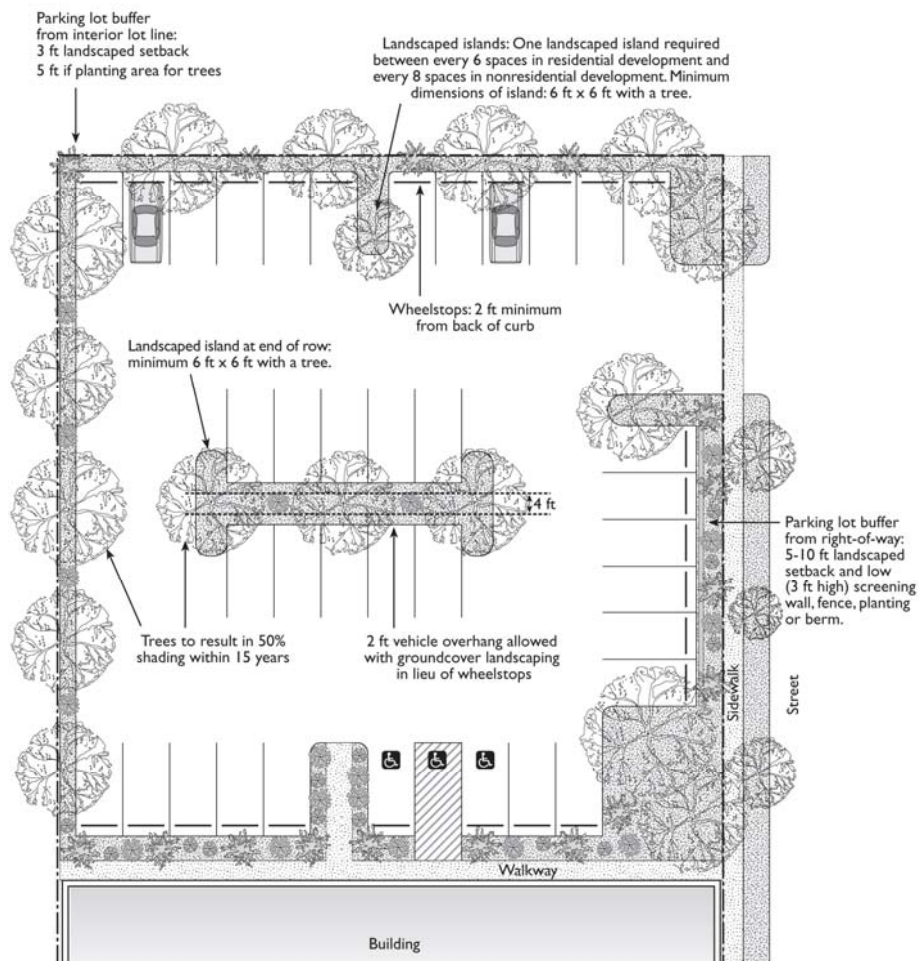
f. **Parking Access.**

- i. **Access.** Access shall be provided from a side street or alley wherever possible.
- ii. **Curb Cuts.** No more than one curb cut per lot per street frontage is allowed and each curb cut shall be separated by a minimum of 100 feet.

g. **Parking Lots.**

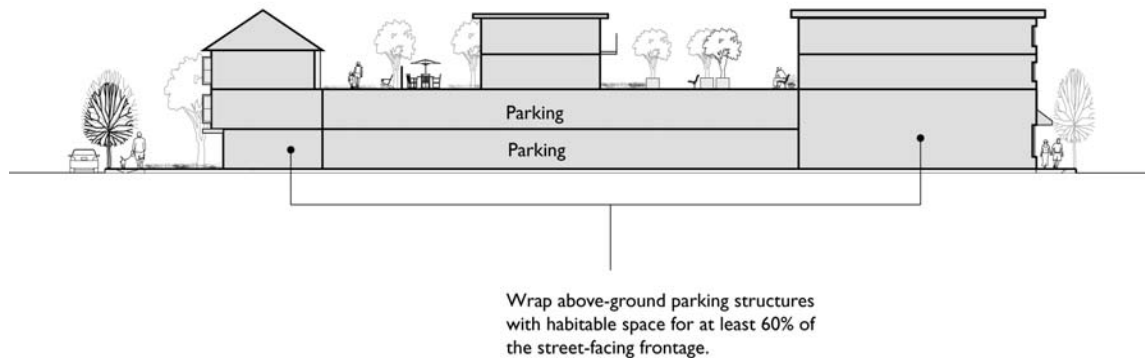
- i. **Lighting.** All street and parking lot lighting standards shall conform to the City's adopted design, and shall include integrated, interior shields to avoid the spread of light skyward and direct light downward. Existing lighting should be retrofit to the City's current standard.
- ii. **Landscaping.** A minimum of 10 percent of any parking lot area shall be landscaped. Landscaping areas shall be a minimum of 25 square feet in area, and shall be distributed throughout the parking lot area.
- iii. **Trees.** Trees shall be planted to result in 50 percent summer shading of parking lot surface areas within 15 years. Any planting area for a tree must have a minimum interior dimension of five feet. Additional space may be required for some tree species.

Figure 27.5-12: Surface Parking Lot Landscaping (To be modified to show 50% shading)



- iv. **Visibility and Clearance.** Landscaping in planters at the end of parking aisles may not obstruct drivers' vision of vehicular and pedestrian cross-traffic. Mature trees shall have a foliage clearance maintained at eight feet from the surface of the parking area. Other plant materials located in the interior of a parking lot should not exceed 30 inches in height.
- h. **Parking Structures.**
 - i. **Wrapping.** At least 60 percent of the street-facing perimeter of above-ground parking structures should be wrapped with habitable space.

Figure 27.6-3: Above Ground Parking Structures Wrapped with Habitable Space

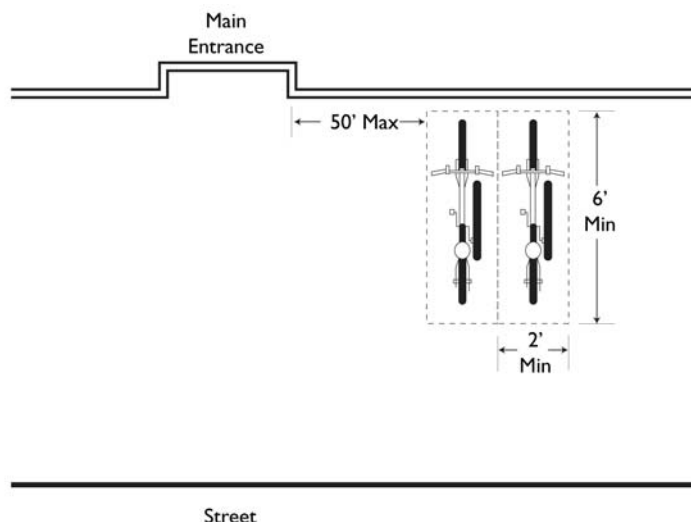


- ii. **Reduction through Development Standard Modification.** Modifications to the percent of the perimeter required to be wrapped with habitable space may be allowed through the modification process if the Planning Commission finds that:
 - The design quality of the garage is equivalent to habitable space, and
 - The ground level is either wrapped with habitable space or screened with landscaping.
- i. **Residential Garages.**
 - i. **Tandem Parking.** Tandem parking may be allowed for up to 50 percent of residential units with a development standard modification. Tandem parking can only be shared by one unit.
 - j. **Bicycle Parking.**
 - i. **Minimum.** There shall be a minimum two (2) bicycle parking spaces per site. Each bicycle parking space shall be a minimum of two feet in width and six feet in length and shall be accessible without moving another bicycle.
 - ii. **Residential Uses.** 1 additional space per 20 units;
 - iii. **Retail and Service Uses.** 1 additional short-term space per 5,000 square feet, and 1 long-term space per 10,000 square feet;
 - iv. **Office Uses.** 1 additional short-term space per 20,000 square feet, and 1 long-term space per 5,000 square feet;
 - v. **Employee Showers and Lockers.** Employee showers and lockers shall be provided in all non-residential buildings over 25,000 square feet.

vi. **Short-term Bicycle Parking.**

- Short-term bicycle parking shall be located within 50 feet of the primary building entrance.
- Bicycle parking shall be located on private property, unless the Public Works Director approves an encroachment permit for bicycle parking within the public right-of-way. Ample room for pedestrian circulation and handicapped access in public sidewalks shall be maintained.
- Bicycle parking shall be visible from the street or from the main building entrance.

Figure 27.6-4: Short-term Bicycle Parking



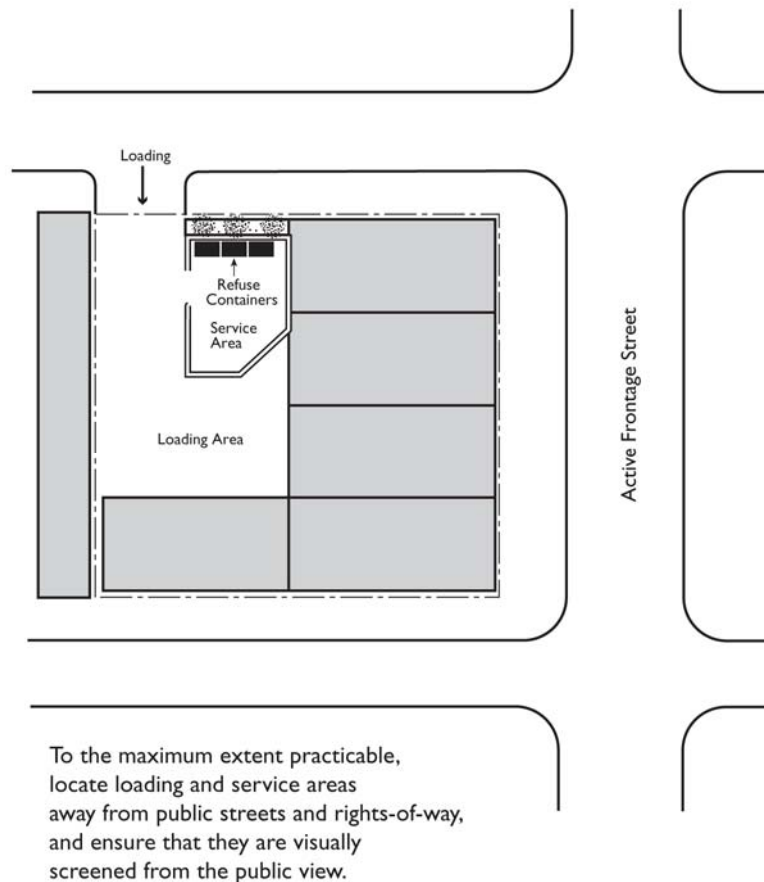
vii. **Long-term Bicycle Parking.** Long-term bicycle parking must be located on the same site as the use it serves, and shall be in an enclosed bicycle locker, or a fenced, covered, and locked bicycle storage area.

2. **Truck Docks, Loading, and Service Areas.** Truck docks, loading, and service areas shall be located at the rear or interior side of buildings and shall be screened so as not to be visible from primary pedestrian routes.
3. **Mechanical Equipment.** Mechanical equipment, including rooftop mechanical equipment, shall be screened from view from eye level at public streets, and the screening shall be designed as an integral component of the architectural design.
4. **Utilities Screening.**
 - a. **Location.** Utility meters, check valves, and related equipment shall be located only on the side or rear façade of buildings and shall be integrated into the building architecture through painting or other means. No exposed conduit, utility brackets, or wiring is allowed.
 - b. **Implementation.** All existing exposed conduits and brackets shall be removed during the implementation of any approved improvements.
5. **Trash and Refuse Collection Areas.** Solid waste and recycling-container enclosures are required for new dwelling groups consisting of four or more dwelling units and for all office, commercial, and industrial developments. All enclosures shall comply with the California

Fire Code and shall meet the following requirements unless it is demonstrated that they are infeasible as determined by the Zoning Administrator.

- a. **Location.** The solid waste and recycling storage area shall not be located within any required front yard, street side yard, any required parking and landscaped areas, or any other area required by this Ordinance to be constructed or maintained unencumbered according to fire and other applicable building and public safety codes.

Figure 27.6-5: Trash and Refuse Collection Areas



- b. **Number.** Solid waste and recycling areas shall be consolidated to minimize the number of collection sites and located so as to reasonably equalize the distance from the building spaces they serve. There should be a minimum of one solid waste and recycling enclosure per 50 units.
 - c. **Accessibility.** Solid waste and recycling storage areas shall be accessible to haulers. Storage areas shall be located so that the trucks and equipment used by the solid waste and recycling collector(s) have sufficient maneuvering areas and, if feasible, so that the collection equipment can avoid backing.
6. **Nuisances Prohibited.** All uses, whether, permitted or conditional, shall be conducted in such a manner as to preclude nuisance, hazard, or commonly recognized offensive conditions or characteristics, including the emission of dust, gas, smoke, noise, fumes, odors, vibrations, particulate matter, chemical compounds, electrical disturbance, humidity, heat, cold, glare, or night illuminations. Prior to the issuance of a building permit, or occupancy permit, or at any other time, the Chief Building Official may require evidence that adequate controls,

measures, or devices have been provided to ensure and protect the public interest, health, safety, and general welfare from such nuisance, hazard, or offensive condition.

7. **Management Plan.** A management plan shall be submitted with the permit application for all commercial and mixed-use projects. At minimum, the management plan must include the following:
 - a. **Security/Safety.** Proposed security and safety features such as lighting, security cameras, defensible space, access, and user surveillance;
 - b. **Maintenance.** Maintenance provisions, including sidewalk cleaning and litter control, recycling programs, general upkeep, and the use of durable materials.
 - c. **Landscape Maintenance.** All developments with conditions of approval for landscape installation shall be required to enter into a landscape maintenance agreement for on-site and sidewalk landscaping.
 - i. **Tree Topping Prohibited.** The agreement shall prohibit the topping of trees or trimming more than one third of the tree foliage unless prior approval is granted by the City.
 - ii. **Fines.** The agreement shall provide for the fines and the installation of replacements for trees topped without City approval, at the property owner's expense.
8. **Maintenance.** Sites and facilities shall be maintained free of refuse, debris, or other accumulated matter and shall be kept in good repair at all times.
 - a. **Walls.** Walls shall be maintained in good repair, including painting, if required, and shall be kept free of litter, advertising, and graffiti. Where hedges are used as screening, trimming or pruning shall be employed as necessary to maintain the maximum allowed height.
 - b. **Signs.** Every sign displayed within the city, including exempt signs, shall be maintained in good physical condition. All defective or broken parts shall be replaced. Exposed surfaces shall be kept clean, in good repair, and painted where paint is required.
 - c. **Landscaping.** All planting and other landscape elements shall be permanently maintained in good growing condition. Such maintenance shall include, where appropriate, pruning, mowing, weeding, cleaning, fertilizing, and regular watering. Wherever necessary, plantings shall be replaced with other plant materials to insure continued compliance with applicable landscaping requirements.
 - d. **Trees.** Trees shall be maintained by property owners to be free from physical damage or injury arising from lack of water, chemical damage, accidents, vandalism, insects and disease. Any tree showing such damage shall be replaced with another tree.
 - e. **Parking Lots.** Parking lots, including landscaped areas, driveways, and loading areas, shall be maintained free of refuse, debris, or other accumulated matter and shall be kept in good repair at all times.
9. **Public Improvements.** Any new buildings or structural alterations and additions to buildings with a building permit valuation of \$xxxx (adjusted annually based on Engineering News Records analysis) shall provide public improvements between the building and the curb in accordance with current City standards, guidelines, and specifications for the Villages of

Belmont, as determined by the City Engineer and Planning Director. The required public improvements include, but are not limited to:

- a. **Sidewalks.**
 - i. ***Requirement.*** Sidewalks shall be provided if none already exist, if the existing sidewalks are in poor condition as determined by the Zoning Administrator, or if the widths do not comply with the following width standards.
 - ii. ***Required Sidewalks Widths.***
 - V2, V3, VR Districts: minimum 10 feet wide
 - V4 District: minimum 6 feet wide
 - iii. ***Sidewalk Design.*** All new sidewalks shall use the City standard brick sidewalk design.
- b. **Street Furniture.** Trash receptacles, benches, bike racks, and other street furniture as specified per street or block.
- c. **Street Lights.**
 - i. Pedestrian-scaled street lights (12-18 feet tall) as specified per street or block
 - ii. All street and parking lot lighting standards shall conform to the City's adopted design, and shall include integrated, interior shields to avoid the spread of light skyward and direct light downward. Existing lighting should be retrofit to the City's current standard.
- d. **Street Trees.**
 - i. Minimum fifteen gallon street trees shall be planted at a minimum of 25 feet on center.
 - ii. Tree species shall be as specified for each individual street or block.
 - iii. Metal tree grates shall be incorporated within tree wells.
- e. **Planter Beds and Pots.** Planter beds and/or pots shall be included near building entrances.

27.7 Design Criteria

This subsection describes the design criteria for Village districts, including site plan, building design, pedestrian streetscape improvements, and public open space.

1. **Village Design Guidelines.** All development shall comply with any adopted Village Design Guidelines.
2. **Building Design.**
 - a. **Architectural Style.**
 - i. **No Required Styles.** There is no specified architectural style for the Village districts.
 - ii. **Design Evaluation Criteria.** Proposals will be evaluated based on whether designs are complementary and compatible with the existing buildings in the immediate area. Quality and integrity of design will be highly considered.
 - b. **Orientation.**
 - i. **Street-Facing.** Building walls and entrances must face the street; or if entrances must face a parking lot due to access constraints or heavy traffic, the street-facing wall must be designed with quality equivalent to the front, with extensive articulation, detail, landscaping, and high quality materials.
 - ii. **Terrain.** Where necessary, proposed structures shall relate harmoniously to the terrain.
 - c. **Streetwall.** (as defined in Subsection 27.2.3.) Along Ralston Avenue and El Camino Real, a streetwall with a minimum height of 18 feet is required, and 24 feet is recommended.
 - d. **Architectural Variety.** Buildings shall exhibit variety and avoid a large-scale and bulky appearance. This requirement can be met by using one or more of the following methods:
 - i. **Variable Roof Form.** Variable roof forms are incorporated into the building design, and no more than two side-by-side units are covered by one unarticulated roof. Articulations may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets.

Figure 27.7-2: Variable Roof Form



- ii. ***Façade Detailing and Materials.*** All visible building façades incorporate details, such as window trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way shall be designed with a complementary level of detailing and quality of materials.

Figure 27.7-3: Façade Detailing



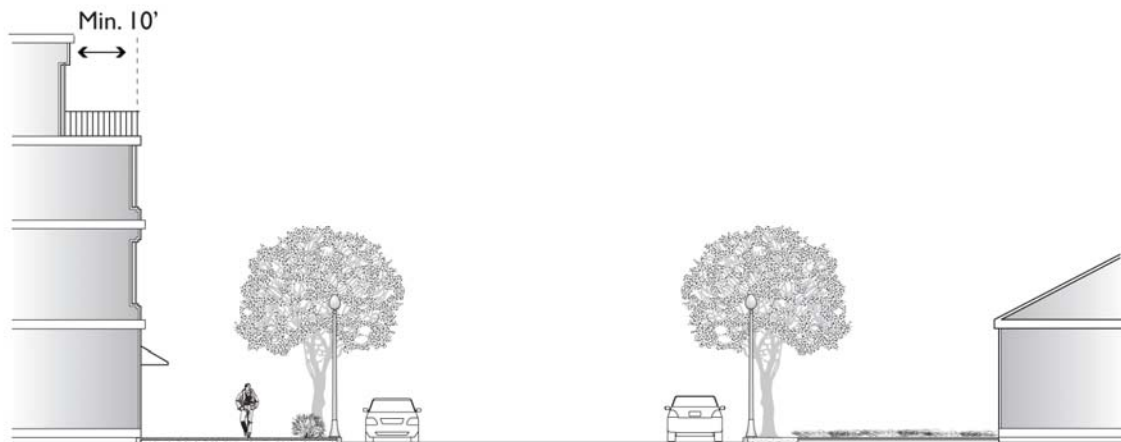
- iii. ***Use of Balconies, Arches, Arcades and Other Such Projections or Recesses.*** The building incorporates balconies, bay windows, entry porches, arches, pediments, columns, arcades or other projections and recesses in a pattern that creates architectural interest across the length of the façade.

Figure 27.7-4: Use of Projections



- e. **Stepbacks.** Building design should incorporate stepbacks of at least 10 feet per floor above the third floor, adjacent or across the street from single-family residential buildings.

Figure 27.7-5: Building Stepbacks

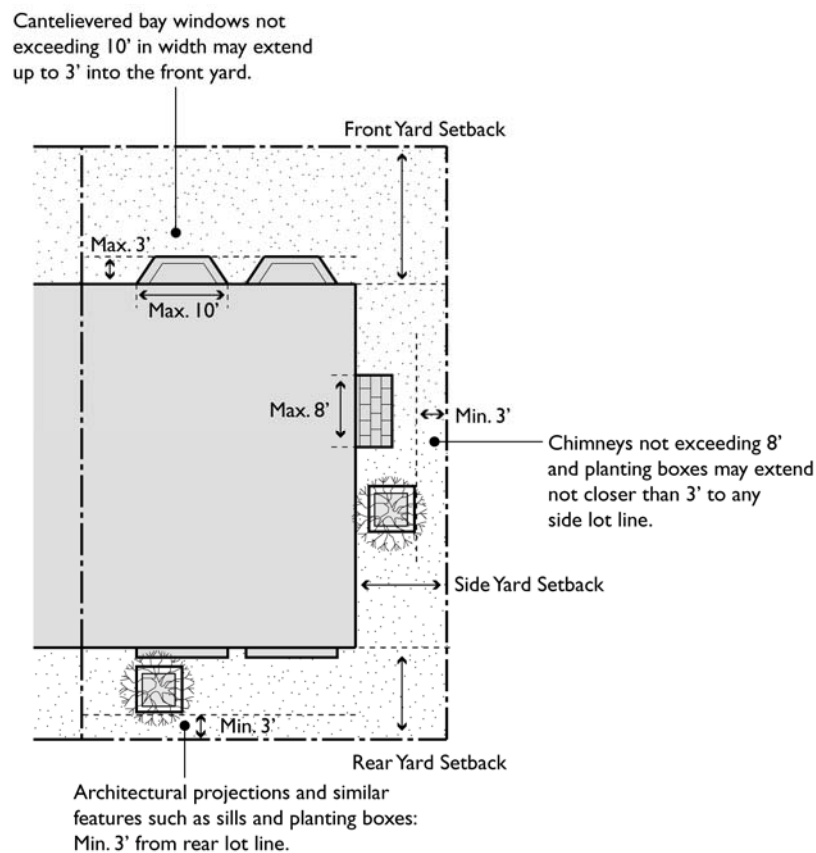


- f. **Requirements for Specific Roof Types.**
 - i. **Hip Roofs.** All hip roofs shall have eave overhangs proportionate to the architectural style of the building.
 - ii. **Mansard Roofs.** Mansard roofs shall provide slopes no steeper than 1:1 to provide the illusion of a hip roof.
 - iii. **Flat Roofs.** Where buildings have flat roofs, the cornice or parapet shall be articulated with brackets, an entablature, or other methods compatible with the surrounding buildings. These elements must be proportioned to hold the visual weight of the cornice.
- g. **Ground Floor Recess.** All street-facing facades shall have at least one recess at least 5 feet in depth (a minimum 15 foot setback from the curb) for an entrance, landscape pocket, outdoor café, or other pedestrian amenities.
- h. **Projections.** Building projections may extend into required yards, subject to the following standards:
 - i. **Maximum Projection Allowed.** Notwithstanding any other subsection of this section, no projection may extend closer than three feet to an interior lot line or into a public utility easement.
 - ii. **Architectural Projections.** Cornices, canopies, eaves, sills, buttresses or similar architectural features, chimneys and fireplaces not exceeding eight feet in width, cantilevered bay windows not exceeding 10 feet in width, and planting boxes may extend not closer than three feet to any side or rear lot line or three feet into any street-facing setback (yard).
 - iii. **Fire Escapes.** Fire escapes, required by law, ordinance, or regulations of a public agency may project up to four feet into any yard.
 - iv. **Stairways, Stair Landings, and Balconies.** Stairways, stair landings, and balconies that service above the first floor level of the building may project

up to three feet into any yard, provided that all such structures shall be open, unenclosed and without roofs, except for lattice type guard railings. Structural supports for stairways and landings may be enclosed.

- v. **Decks, Porches, and Stairs.** Decks, porches, and stairs which do not extend above the first floor level of the building may project no more than six feet into the front yard and five feet into the side and rear yards.
- vi. **Depressed Ramps or Stairways and Supporting Structures.** When designed to permit access to parts of buildings below average ground level, may extend into any required yard not more than 42 inches.
- vii. **Ramps and Similar Structures for Disabled Person's Accommodation.** Up to the entire yard where it is the only feasible location to provide a reasonable accommodation consistent with the Americans with Disabilities Act.

Figure 27.7-6: Building Projections



- i. **Exterior Building Materials.**
 - i. **Unified Palette.** A unified palette of materials shall be used on all sides of buildings regardless of orientation.
 - ii. **Colors.** Generally avoid fluorescent and neon paints.
 - iii. **Building Materials.**
 - The exterior of all buildings shall be wood, adobe style masonry, tile, stone, brick, glass, concrete, or other comparable durable quality materials (as determined by the Zoning Administrator).

- Material substitutes will be considered during project review (fiberglass columns, tin cornices, elements contributing to sustainable design, etc).
- Cement plaster finishes are required to have a smooth trowel finish. Hand-trowelled finishes shall be considered during project review.

iv. ***Other Materials.***

- The exterior use of slump block, Exterior Insulating Finish Systems (EIFS), exposed concrete block, dark and/or highly reflective glass, or galvanized metal is discouraged.
- Security bars shall not be mounted on the exterior of the building, unless integrated with the architectural style (i.e. wrought iron gates on Spanish Colonial Revival buildings).
- Contemporary roll-up service doors shall not be permitted on active pedestrian frontages.

v. ***Roofing Materials.*** Roofing materials shall be heavy flat masonry tile, slate, wood shingle or heavy shake (where permitted under the Fire Code), mission tile, or similar materials which blend in with existing structures.

vi. ***Accent Materials.*** High quality accent materials such as ceramic tiles, glazed or unglazed clay products, and wrought iron are recommended.

3. **Exterior Lighting.**

- a. **Energy Efficient.** All exterior lighting shall be energy efficient and use either photo cells or timers to ensure lighting is automated for nighttime operation.
- b. **Multiple-Family Residential Illumination.** Aisles, passageways, and pedestrian recesses related to and within the building complex shall be illuminated with an intensity of at least 0.25 foot-candles at the ground level during the hours of darkness. Lighting devices shall be protected by weather and vandal-resistant covers.
- c. **Pedestrian Oriented Lighting.** Exterior lighting shall be provided for a secure nighttime pedestrian environment by reinforcing entrances, public sidewalks and open areas with a safe level of illumination with an intensity of at least 0.25 foot-candles at the ground level during the hours of darkness. The Zoning Administrator may require additional lighting for bars, nightclubs, and lounges or other entertainment venues in order to provide a safe level of illumination.
- d. **Shielding.** All lighting fixtures shall be shielded so as not to produce obtrusive glare onto the public right-of-way or adjoining properties. All luminaries shall meet the most recently adopted criteria of the Illuminating Engineering Society of North America (IESNA) for “Cut Off” or “Full Cut Off” luminaries.
- e. **Prohibited Lighting Types.** No rotating, blinking, animated, or flashing lights shall be permitted.
- f. **Lighting Styles.** Exterior lighting and fixtures shall be compatible with the architectural style.

4. **Building Entrances.**

a. **Number of Entrances.**

- i. **Retail and Services.** For retail and services uses, a minimum of one entrance per 75 linear feet of the primary building frontage shall be required.
- ii. **Office and Residential.** For office and residential uses, a minimum of one entrance per 100 linear feet of the primary building frontage shall be required

b. **Primary Entrances.** Primary building entrances shall be emphasized with special architectural and landscape treatments.

c. **Mixed-Use Entrances.** In mixed-use developments, entrances to residential units shall be physically separated from the entrance to the permitted commercial use and clearly marked with a physical feature such as a recess or projection incorporated into the building or appropriately scaled element applied to the façade.

5. **Ground Floor Minimum Floor to Ceiling Height.**

- a. **Retail.** For retail uses, the ground floor shall have a minimum floor to ceiling height of 14 feet.
- b. **Other Non-Residential Uses.** For other non-residential uses, the ground floor shall have a minimum floor to ceiling height of 12 feet.

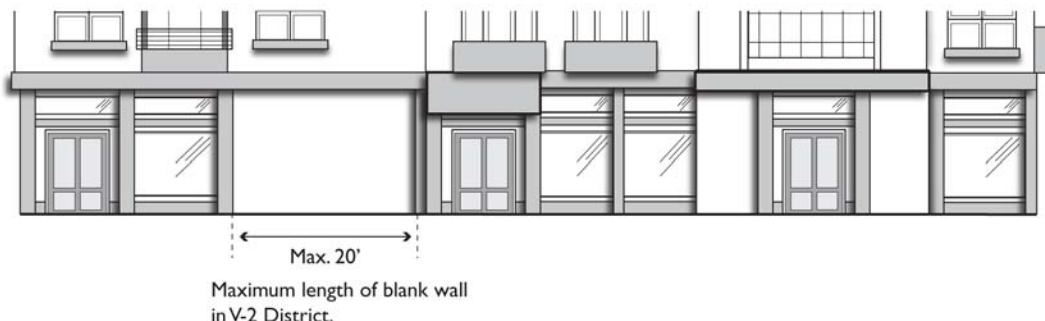
6. **Ground Floor Windows for Non-Residential Uses.** Exterior walls facing an adjacent public street, or facing onto a park, plaza, or other public outdoor space shall include windows, doors, or other transparent openings for at least 60 percent of the building wall area located between 2.5 and seven feet above the elevation of the sidewalk.

Figure 27.7-7: Ground Floor Windows



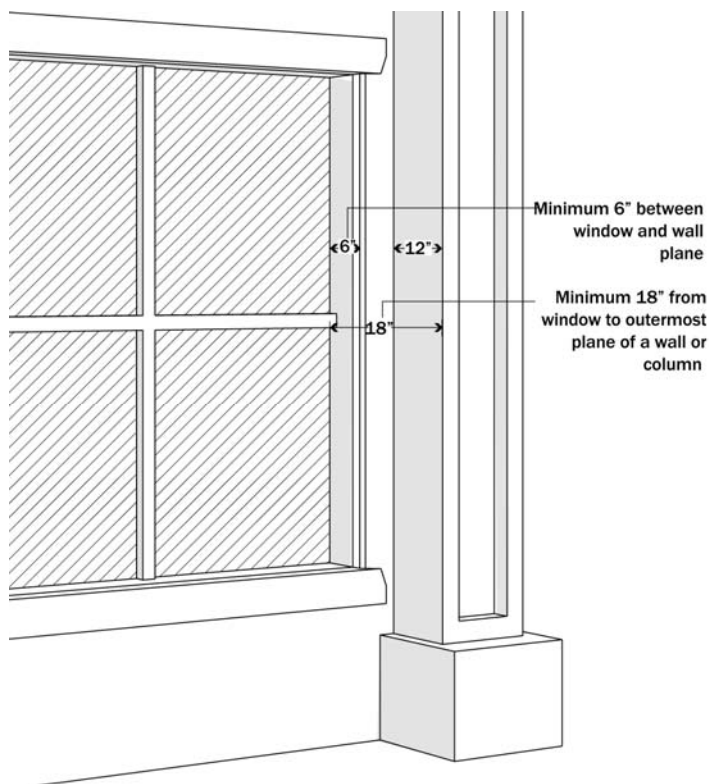
7. **Limits on Blank Walls.** A street-facing wall shall not run in a continuous plane without an opening for more than:
 - a. **V-2 District:** 20 feet

Figure 27.7-8: Limits on Blank Walls



- b. **V-3, V-4, and V-R Districts:** 30 feet
 - c. **Transparency.** Openings fulfilling this requirement shall have transparent glazing and provide views into work areas, display areas, sales areas, lobbies, or similar active spaces, or into window displays that are at least three feet deep.
8. **Ground Floor Wall Plane Articulation.** Ground floor wall plane articulation is required to be a minimum 6-18 inches. Windows, doors, columns, and other features should be recessed or project forward, such that there is a six-inch difference between wall and window surfaces and a total of at least 18 inches from the window to the outermost plane of a wall or column.

Figure 27.7-9: Ground Floor Wall Plane Articulation (To be modified to show other storefront elements)



9. **Storefront Elements.**

a. **Required.**

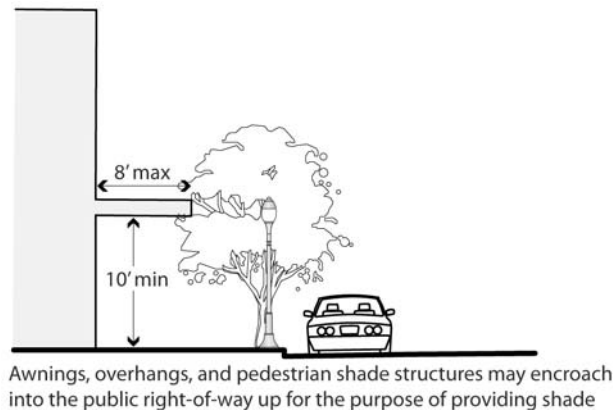
- i. **Glazing Recess.** Glazing must be recessed a minimum of 6" from the plane of the storefront.
- ii. **Bulkhead.** A bulkhead with a minimum dimension of 18" is required below.
- iii. **Recommended.** A stringcourse or other horizontal element above the storefront system is recommended to separate the storefront from the building mass.

b. **Prohibited.** Anodized aluminum storefronts shall not be permitted.

10. **Awnings and Overhangs.**

- a. **Requirements.** Awnings, overhangs, and pedestrian shade structures, may encroach into the public right-of-way up to eight feet but never closer than within two (2) feet of the curb for the purpose of providing shade over the sidewalk, provided they are at least 10 feet above sidewalk grade.
- b. **Trees and Landscaping.** Awnings and overhangs shall not interfere with street trees or front landscaping.
- c. **Design.** Awnings and canopies shall comply with any adopted Village Design Guidelines.

Figure 27.7-10: Awnings and Overhangs



11. **Signage.** See Section 23 for all signage standards and regulations.

12. **Trash and Refuse Collection Areas Materials, Construction, and Design.**

- a. **Minimum Height of Screening.** Solid waste and recycling storage areas located outside or on the exterior of any building shall be screened with a six foot high solid enclosure.
- b. **Enclosure Material.** Enclosure material shall be solid masonry, pre-cast panels, or split-face block with decorated exterior-surface finish compatible to the main structure(s).
- c. **Gate Material.** Gate material shall be decorative, solid, heavy-gauge metal or a heavy-gauge metal frame with a covering of a view-obscuring material. If not visible from a public street, public parking area, or residential area, the enclosure gates may be constructed of chain link with wood or plastic inserts.

- d. **Access to Enclosure from Residential Projects.** Each solid waste and recycling enclosure serving a residential project shall be designed to allow walk-in access without having to open the main enclosure gate.
 - e. **Enclosure Pad.** Pads shall be a minimum of four-inch-thick concrete.
 - f. **Protection for Enclosures.** Concrete curbs or equivalent shall protect enclosures from adjacent vehicle parking and travel ways.
 - g. **Landscaping.** The perimeter of the recycling and trash enclosure shall be planted, if feasible, with drought resistant landscaping, including a combination of shrubs and/or climbing evergreen vines.
 - h. **Clear Zone.** The area in front of and surrounding all enclosure types shall be kept clear of obstructions, and shall be painted, striped, and marked “No Parking.”
13. **Fencing.** Fencing is subject to the following standards:
- a. **Front Yards.** No solid fence or freestanding wall within or along the exterior boundary of the required front yard shall exceed a height of 3.5 feet. Open or lattice type fences, or hedges, shall not exceed a height of four feet.
 - b. **Side and Rear Yards.** No fence or freestanding wall within or along the exterior boundary of the required side or rear yards shall exceed a height of six feet.
 - c. **Design and Materials.** Fencing visible from a street shall be treated as an integral part of the architecture, with materials, colors, and detailing drawn from the building they surround or adjoin.
 - d. **Prohibition on Hazardous Fencing Materials.** The use of barbed wire, razor wire, ultra barrier, electrified, and other hazardous fencing is not permitted.
 - e. **Limitation on Chain Link Fencing.** Use of chain-link fencing is not permitted in front or street-facing side yards, and is permitted only in rear and interior side yards that do not abut public and quasi-public land uses.
 - f. **Limitation on Concrete Block.** Plain, concrete block or slump stone is not permitted as a fencing material. Concrete block must be finished with stucco and capped with a decorative cap. Decorative block is acceptable fencing material.
14. **Utilities.** All utilities shall be underground on private property. Large projects, more than **xx** square feet or **\$xx**, shall underground all utilities within the adjacent public right of ways.
15. **Green Building Standards.** Projects must demonstrate a best effort to reduce energy use, carbon footprint, and environmental impacts for design review approval. Projects shall incorporate at least three of the following sustainable design practices, unless superseded by an adopted citywide green building ordinance. LEED™ certification may substitute for this requirement.
- a. **Energy Efficient Appliances**
 - b. **Energy Efficient Building Systems and Equipment**
 - c. **Use of Recycled Materials**
 - d. **Solar Energy Panels**
 - e. **Electric Car Chargers and/or Car-Share Parking in Parking Areas**

16. **Public Open Space.** Projects providing open spaces accessible to the public shall be evaluated on the following design topics:
 - a. **Scale and Dimensions**
 - b. **Seating**
 - c. **Pedestrian Paths**
 - d. **Trees and Landscaping**
 - e. **Lighting**
 - f. **Paving Materials**
 - g. **Trash Receptacles**
 - h. **Public Art and Water Features**

27.8 Project Review Process

1. **Development Review.** All development is subject to development review under the City's Administrative provisions, found in Section 10, Planning Procedures, of this Zoning Code. This applies to applications for a change of use, exterior building and site modifications, and new construction.
2. **Design Review.** All exterior building modifications, site modifications, and new construction within the Village area shall be subject to the Design Review process defined in Section 13 of this Ordinance.
3. **State Highway.** Approval of plans and construction within the El Camino Real right-of-way requires prior approval from the State Department of Transportation. If the City is required to be a party to the encroachment permit application and a fee is required, the applicant shall reimburse the City for its costs.
4. **Modifications to Development Standards and Design Criteria.** Applicants may request modifications to the development standards of this Ordinance (other than residential density, FAR, or building height). Reductions to required parking standards shall meet the requirements in Subsection 27.6.1.d.
 - a. **Review.** Review shall be conducted by the Planning Commission per the procedures in Section 11, Conditional Use Permits.
 - b. **Approval.** The Planning Commission may approve modifications to development standards or design criteria if the following required findings are met.
 - c. **Required Findings.** A decision to grant a modification shall be based on the following findings, supported by information in the record:
 - i. The modification is necessary due to the physical characteristics of the property and the proposed use or structure or other circumstances, including, but not limited to, topography, noise exposure, irregular property boundaries, or other unusual circumstance; and
 - ii. The granting of the requested modification would not be detrimental to the health or safety of the public, the adjoining property occupants, or the occupants of the property; or result in a change in land use or density that would be inconsistent with the requirements of this Ordinance; and
 - iii. The granting of the modification will substantially meet or advance the intent and purpose of the zoning district in which the subject property is located, and
 - iv. The project meets all design review findings and is consistent with any adopted design guidelines.
5. **Exceptions to Maximum FAR, Building Height, or Residential Density.** Applicants may request exceptions to the maximum FAR, maximum building height, minimum or maximum residential density development standards of this Ordinance.
 - a. **Review.** Review shall be conducted by the City Council per the procedures in Section 10 for Conditional Use Permits.
 - b. **Approval.** The City Council may approve exceptions to the specified development standards based on a recommendation from the Planning Commission, if the following findings are met,

- c. ***Required Findings.*** A decision to grant an exception shall be based on the following findings, supported by information in the record:
- i. Findings 27.8.4.c.ii, 27. 8.4.c.iii, and 27. 8.4.c.iv above; and
 - ii. The granting of the requested exception does not significantly reduce scenic views from public rights-of way; and
 - iii. The proposed project provides one or more of the following public benefits within the City of Belmont:
 - Permanent hillside open space preservation off-site (conservation easement);
 - Permanent preservation of a historic resource;
 - Affordable housing (per Section 26 – Density Bonuses);
 - Provision and perpetual maintenance of permanent, public open space, such as a pocket park or plaza, at least 2500 square feet in size. in a location determined by the Planning Commission;
 - Other public benefits as determined by the Planning Commission.